



**CITY OF COTTONWOOD
PLANNING & ZONING COMMISSION
COUNCIL CHAMBERS**

826 N. Main St.
Cottonwood, AZ 86326

REGULAR MEETING
Monday, March 16, 2020
6:00 p.m.

I. CALL TO ORDER

A. Roll Call

B. Approval of Minutes: February 24, 2020 Regular Meeting

II. INFORMATIONAL REPORTS AND UPDATES:

A brief summary of current events by Chairperson, Commission members, and/or Community Development Director. (The public body does not propose, discuss, deliberate, or take legal action on any matter brought up during this summary unless the matter is properly noticed for legal action).

III. CALL TO THE PUBLIC

This is the time for the public to comment on any matter that does not appear on the agenda. Commission members may not discuss items not identified on the agenda. Pursuant to A.R.S. §38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for consideration at a later date. Comments are limited to five minutes for each person.

IV. OLD BUSINESS: NONE

V. NEW BUSINESS:

Information on the above agenda items may be obtained in person from the Community Development Department, 111 N. Main Street in Cottonwood, or by calling (928) 634-5505.

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

The Cottonwood Council Chambers is accessible to the handicapped in accordance with Federal "504" and "ADA" laws. Those with needs for special typeface print or hearing devices may request these from the Planning Technician at 634-5505 (TDD 634-5526). All requests must be made at least 24 hours before the meeting.

1. **CUP 08-005 EXT/DR 20-003 - MOUNTAIN VIEW APARTMENTS**– A request for an Extension of Time for a previously approved Conditional Use Permit and a Design Review application to develop 60 apartment units contained in three buildings with a clubhouse facility. The proposed site is located on the east side of N. 7th Street and north of Mingus Ave. and is zoned R-3 (Multiple Family Residential). APN 406-42-013H and 406-42-013K. Owner: Cottonwood Mountain View Villa LLC. Applicant: Krishan Ginige, Southwest Environmental Consultants, Inc.
2. **CUP 20-002 - DUVERNAY GARAGE** - A request for a Conditional Use Permit for a twenty-one foot +/- (21' +/-) high detached garage that exceeds the height limitation allowed for an accessory structure. The property is in a PAD (Planned Area Development) and is located at 1385 E Partridge Court. APN: 406-62-033. Owner: Michael J. Duvernay Living Trust. Applicant: Michael J. Duvernay.K
3. **CUP 20-003 - KENTUCKY FRIED CHICKEN SIGNAGE** - A request for a Conditional Use Permit to exceed the square footage of signage allowed on the Kentucky Fried Chicken Building. This project is located in a C-2 (Heavy Commercial) zone at 970 S. Main Street. APN: 406-04-045K. Owner: Alred Investments LLC. Applicant: Robert Alred.

VI. DISCUSSION ITEMS:

VII. SUGGESTED TOPICS FOR FUTURE MEETINGS:

VIII. ADJOURNMENT

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"Inspiring a Vibrant Community"

**CITY OF COTTONWOOD
PLANNING & ZONING COMMISSION
COUNCIL CHAMBERS
826 N. Main St.
Cottonwood, AZ 86326**

REGULAR MEETING
Monday, February 24, 2020
6:00 p.m.

I. CALL TO ORDER

A. Roll Call

Planning & Zoning Commission Members Present

Commissioner Hart
Commissioner Dowell
Commissioner Masten
Commissioner Narwid
Commissioner Sherman
Vice Chairman Dowling
Chairman Williams

Planning & Zoning Commission Members Absent

Staff Members Present

Scott Ellis, Community Development Director
Jim Padgett, Planner
Gary Davis, Planner
Ron Corbin, City Manager
Rudy Rodriguez, Deputy City Manager
Richard Faust, Economic Development Director
Brenda Campbell, Permit Technician, Recorder

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B. Approval of Minutes: January 27, 2020 Regular Meeting

Motion: To approve minutes of the January 27, 2020 Regular Meeting.

Made by: Chairman Williams

Vote: unanimous

II. INFORMATIONAL REPORTS AND UPDATES:

Gary Davis, new Planner for Community Development, was introduced.

III. CALL TO THE PUBLIC

No respondents.

IV. OLD BUSINESS: None.

V. NEW BUSINESS:

- 1. DR 19-003 EXTENSION - COTTONWOOD CHRISTIAN ASSEMBLY:** A Request to extend completion date for a 19,000 square foot church facility and site improvements. The project is located in an R-3 (Multiple Family Residential) zoned property at 750 E. Mingus Avenue. APN: 406-42-012N. Owner: Cottonwood Christian Assembly, Inc. Agent: Jim Lawler, Lawler Construction.

Vice Chairman Dowling recused himself. Jim Padgett presented the project details explaining there will be two phases. Changes to the building codes that were adopted to the City require modifications to the engineering required for the building they are bring in. The project is still moving forward. The church is requesting additional landscaping instead of solid fencing in areas adjacent to residential areas, which will require the Commission's approval. The landscape plan will come back to the Commission at a future date. They are requesting a one-year extension due the engineering update.

Jim Lawler, applicant, explained that the new name is Journey Church. He explained that the target date is less than a year and they will have the landscape plans to the commission before then for the

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Commission's approval. Mr. Lawler said that there will be three phases in total. Commissioner Hart questioned whether wainscot could be used on the front of the building to soften it up. Mr. Lawler said they could do the wainscot stone. Commissioner Masten suggested evergreen trees to be planted between the church and the apartments. It was agreed that they will plant evergreen trees.

Motion: To approve DR 19-003-EXT COTTONWOOD CHRISTIAN ASSEMBLY with the following stipulations:

1. That the project is developed in conformance with the development plans as approved at the February 25, 2019 meeting and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated October 24, 2017.
3. A Certificate of Zoning Compliance documenting the completion of Design Review conditions shall be issued prior to the Certificate of Occupancy.
4. The location of the ballfield areas may be no closer than 10' to the adjacent properties to allow for landscaped areas to be provided for screening.
5. Submit a detailed landscape plan to be reviewed and approved by the Planning Commission to address the use of landscaping and existing vegetation to achieve the required screening from adjacent residential properties and street perimeter landscaping.
6. The landscaped area along Mingus Avenue shall be completed with Phase 1 of the Development.
7. Building Permits shall be applied for by twelve (12) months from the date of approval by the Planning & Zoning Commission.

Made by: Commissioner Narwid

Second: Commissioner Hart

Roll Call Vote: Unanimous. Vice Chairman Dowling recused.

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- 2. DR 20-001 HERRICK MINI STORAGE** - Request for Design Review of a new mini storage facility. The subject parcel is zoned I-2 (Heavy Industrial), located at 25 E. Cottonwood Street. APN 406-08-007C. Owner: Edward J. and Sarah E. Bermingham Trust. Agent: Luke Sefton.

Commissioner Hart recused himself. Jim Padgett presented the project details. He explained that this is to be done in three (3) phases. There are requirements for a concrete wall adjacent to residential wall and 10ft land scape area adjacent to residential use along entire property. The wall will be done with first phase. The project will have nine (9) separate buildings.

Luke Sefton, engineer, explained the exterior wall, sidewalk and landscaping plan. He said it lines up with the rest of the industrial area. There was some discussion regarding concerns about the height of the wall and how security will be enforced. Mr. Sefton states security lights are there and possible barbed wire on top and there will be a security system in place. Commissioner Masten would like the wall in front, on Cottonwood St., to be broken up with some texture. Mr. Sefton will look at that for the wall. There was some discussion about the landscaping that will be used around the property. Chairman Williams asked if a 7ft fence would be considered.

Gail Herrick, applicant, explains that wind shear and additional engineering will come into play for a wall that is 7 ft. tall. He said he has an extensive security system and there will be a kiosk with electronic gate for customers. There was some discussion on what kind of security system and how it is monitored. Mr. Herrick explained that the security system also includes motion sensor lighting and cameras.

Motion: To approve DR 20-001 HERRICK MINI STORAGE with the following stipulations:

1. That the project is developed in conformance with the development plans as approved at the Planning and Zoning Commission at the February 24, 2020 meeting.
2. That the project conforms to Code Review Board comments dated February 6, 2019.
3. That the project complies with all Building, Engineering and Fire Department requirements.
4. Maintain a ten (10) foot wide landscape area along the entire eastern boundary of the subject site adjacent to the residential properties.

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5. The trash enclosure shall be screened with solid materials to comply with Section 404.S.1.a and b and the landscape buffering requirements of Section 407.D.8
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued within 24 months of the Planning Commission action.
7. The client has the option to add a one (1) foot wall, as needed, at their discretion in the future.

Made by: Vice Chairman Dowling

Second: Commissioner Dowell

Roll Call Vote: Unanimous. Commissioner Hart recused.

3. **DR 20-002 ME BEAUTY SALON** - Request for Design Review of a new 1,646 square foot Beauty Salon. The subject parcel is zoned C-1 (Light Commercial), located at 108 N. Main Street. APN 406-37-007A. Owner: Maria Marlen Romero Espinola. Agent: Brent Maupin.

Jim Padgett presented the project details. The landscaping plans were presented. Jim pointed out that the adjacent property to the west is also zoned C1. The adjacent property owner has given a letter agreeing to certain stipulations for a fence with slats to be put on the existing chain link fence to buffer the residential use of the adjacent property. Jim explained the reason for putting the slats on the existing fence per Commissioner Narwid's request.

Motion: To approve DR 20-002 ME BEAUTY STUDIO with the following stipulations:

1. That the project is developed in conformance with the development plans as approved by the Planning and Zoning Commission at the February 24, 2020 meeting.
2. That the project conforms to Code Review Board comments dated June 19, 2018.
3. That the project complies with all Building, Utilities, Engineering and Fire Department requirements.

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4. The trash enclosure and the water storage tank shall be screened with solid materials to comply with Section 404.S.1.a and b. and the landscape buffering requirements of Section 407.D.8.
5. A three (3) foot screen wall is required adjacent to Main Street where three parking spaces are facing the street.
6. Identify a minimum of two bicycle parking spaces on the plans submitted for Building Permits.
7. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued within 24 months of the Planning Commission action.

Made by: Vice Chairman Dowling

Second: Commissioner Dowell

Roll Call Vote: Unanimous.

VI. DISCUSSION ITEMS:

None.

VII. SUGGESTED TOPICS FOR FUTURE MEETINGS:

Commissioner Narwid requested that The Vineyards replace the dead plants along the street with the approved 5 ft. plants.

VIII. ADJOURNMENT: 7:15p.m.

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STAFF REPORT

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

HEARING DATE: March 16, 2020

PROJECT NUMBER: CUP 08-005 EXT and DR 20-006 Mountain View Villas

The applicant is requesting approval of an extension of a previously approved Conditional Use Permit and a Design Review application to develop vacant land for a 60-unit apartment complex. The proposed site is located on the East side of N. 7th Street and north of Mingus Ave. and is zoned R-3 (Multiple Family Residential).

PROJECT DATA AND FACTS:

Owner	Cottonwood Mountain View Villa Apt
Applicant	Krishan Ginige, Southwestern Environmental Consultants, Inc.
Location of Property	North of Mingus Avenue East of 7 th Street. APN 406-42-013H and 406-42-013K
Present Zoning and Land Use	R-3 (Multiple Family Residential)
Description of Applicant’s Request	Proposed development would consist of 60 apartment units (3 buildings) and a clubhouse.

LAND USE:

Description and Character of Surrounding Area
<p>North: R-3 (Multiple Family Residential) Multi-family apartment complex</p> <p>East: MH (Manufactured Home) Manufactured Home Subdivision</p> <p>South: R-3 (Multiple Family Residential) Church</p> <p>West: R-3 (Multiple Family Residential) Multi-family apartment complex</p>

PROJECT PROPOSAL:

Background

The previous approval granted to the project by PCU 08-005 was never formally revoked by the City of Cottonwood. The current submittal of the Conditional Use Permit will be considered as an Extension of Time of the previously approved CUP. The current Design Review application reflects changes made since the previous approval. Since approximately 12 years have passed since the previous approvals, the current plans will be reviewed as a new submittal to address any code or technical requirements that are currently required by the City of Cottonwood and will be required to meet all advertising, posting, legal noticing requirements and current fees.

The current Design Review proposal is for 60 units to be constructed in three separate buildings that will consist of 30 one-bedroom units and 30 two-bedroom units. A clubhouse facility would be included as an amenity for the residents.

The proposed development is in accordance with the intent and goals of the General Plan, consisting of High Density Residential Development. It also meets the requirements of the R-2 (Single Family/Multiple Family) zoning designation as described in Section 414 of the Cottonwood Zoning Ordinance.

STRUCTURE DESIGN:

Number and Proposed Use of Building (Complete Project)	4 buildings total. 3 buildings with a total of 60 residential units and separate clubhouse building.
Number of Stories	2 and 3 stories based on terrain issues
Square Footage	1-bedrooms are 625 sq. ft. 2-bedrooms are 825 sq. ft. Clubhouse is 3,761 sq. ft. Total square footage is 63,191 sq. ft.

Parking: Based on the quantity of units and the bedrooms within, a total of 104 spaces are required. The project as proposed will provide 117 spaces which exceeds the code requirements.

Lighting: Exterior lighting will have to meet Section 408 of the City of Cottonwood Zoning Ordinance Lighting Code.

Signage: At this time the final signage plan has not been determined. A complete sign permit application with all required details will be submitted to staff for approval when a design has been agreed upon.

Access: Access will be from 7th Street via an existing easement located on the south side of the existing Mountain View apartments which is currently owned by the same entity.

Landscape Plan: The landscape plan as submitted meets zoning ordinance requirements and would be required to meet the landscape requirements of the code prior to obtaining a Certificate of Occupancy.

Utilities: All utility plans will be submitted to Public Works/Streets for approval and requirements prior to continued site improvements/development.

Architecture, Materials, Colors: The buildings will be constructed of a horizontal siding proposed in a two-tone paint consisting of Sherwin Williams “Popular Grey” and “Tavern Taupe”. The roofing material consist of a mix of composite shingles and rusted metal. Wood trim is proposed as a mix of stain and paint. This color scheme is represented on sheet A400 in the architectural plans.

CRB Review:

This project was reviewed by the Code Review Board on December 3, 2019 for the initial approval and the applicant has met the requirements from staff included in the Design Review application. All requirements will be met before certificates of occupancy are issued.

RECOMMENDATION:

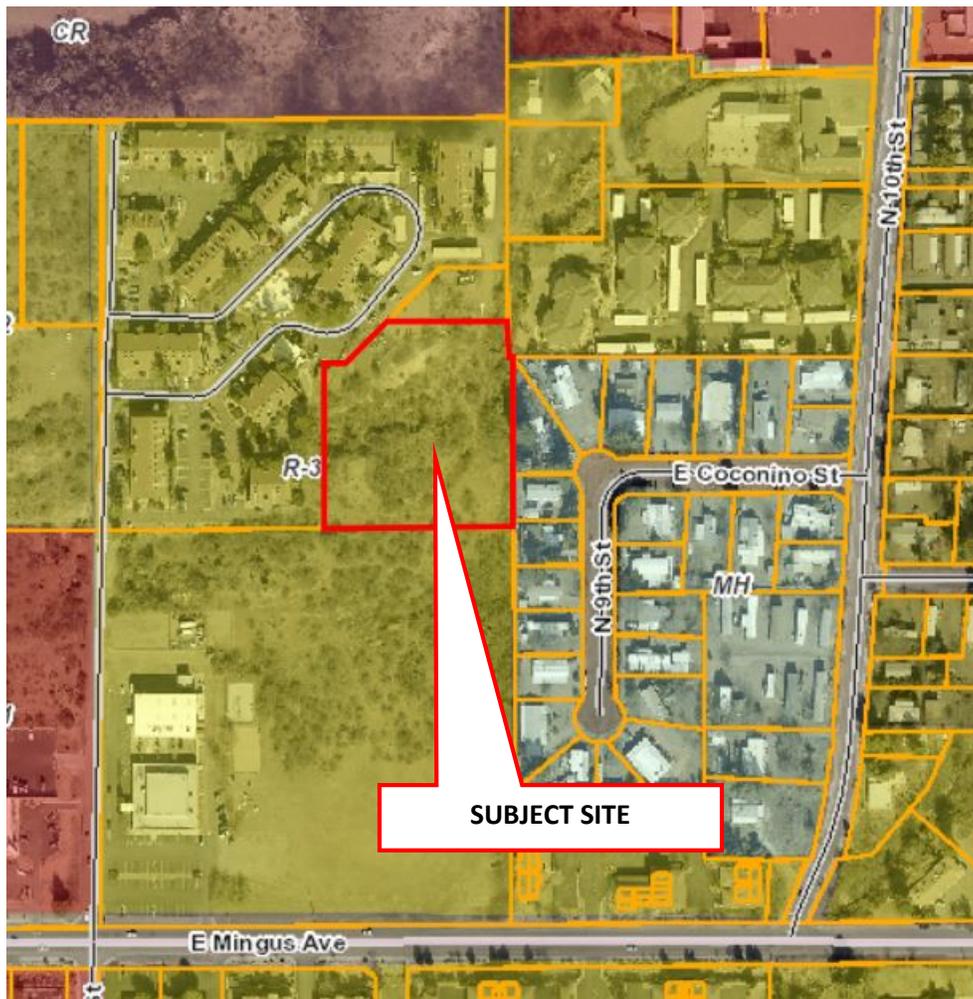
Staff has reviewed this project and finds it is consistent with the Cottonwood General Plan Land Use and Zoning requirements, therefore recommends approval of CUP 08-005 EXT and DR 20-003 subject to the following stipulations.

If the Commission desires to approve this item, the suggested motion is:

I move to approve CUP 20-003 EXT and DR 20-006 to allow Cottonwood Mountain View Villa Inc. to develop the 60-unit apartment, subject to the following stipulations:

1. That the project conforms to Code Review Board comments dated December 3, 2019.
2. That the project complies with all Planning, Building, Utilities, Engineering and Fire Department requirements.
3. Identify a minimum of two (2) bicycle parking spaces in proximity to each building for a total of six (6) spaces as required by code on the plans submitted for Building Permits.
4. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued within 24 months of the Planning Commission action.
5. Building Permits shall be applied for within three (3) years from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation procedures.
6. Any other stipulations the Planning Commission deems necessary.

Vicinity Map
Mountain View Villas
CUP 08-005 EXT
DR 20-006





DESIGN REVIEW APPLICATION

CDD

Development Application

#200

PROPERTY OWNER Name: <u>Cottonwood Mountain View Villa Apartments</u> Address: <u>P O Box 3568</u> City: <u>Cottonwood</u> State: <u>AZ</u> Zip: <u>86326</u> Phone: <u>602-762-5505</u> Cell: _____ Fax: _____ E-Mail _____	APPLICATION NUMBER: <u>CUP 08-005 EXT</u> <u>DR 20-003</u>
AGENT/REPRESENTATIVE <small>IDENTIFY THE PERSON WHO WILL COMMUNICATE WITH CITY STAFF, AND RECEIVE CORRESPONDENCE DURING THE HEARING PROCESS. CITY STAFF WILL NOT ACCEPT RESPONSIBILITY FOR COMMUNICATING WITH OTHER PROJECT PERSONNEL</small> Name: <u>Krishan Ginige (SEC Inc)</u> Address: <u>825 Cove Parkway</u> City: <u>Cottonwood</u> State: <u>AZ</u> Zip: <u>86326</u> Phone: <u>928-634-5889</u> Cell: _____ Fax: _____ E-Mail <u>kginige@sec-landmgt.com</u>	ZONING: <u>R-3</u>
REQUEST: <u>Site and Building approval</u> _____ _____ <small>IDENTIFY ANY NECESSARY CODE EXCEPTIONS:</small> _____	APPLICATION DATE: <u>2-10-2020</u> FEES: <u>800.00</u> RECEIPT #: <u>9612</u> <u>CR# 6215</u> DATE: <u>2-10-2020</u> TAKEN BY: <u>S. Ellis</u>

ASSESSOR'S PARCEL NUMBER(S) 406-42-013 H & K **ACRES** 2.65

SITUS ADDRESS (if applicable) 740 E Mings Ave Cottonwood AZ 86326

SUBDIVISION: PAD **LOT(S):** _____ **BLOCK:** _____ **UNIT:** _____

Legal description attached (for Metes & Bounds Parcel or for Subdivision Lot Split)

I hereby certify that the information in this application is complete and accurate; and that I am the applicant of the bona fide agent of same as state above.

Signature: Date: 2/10/2020

Please Print Name: Krishan Ginige, P.E

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SOUTHWESTERN
ENVIRONMENTAL
CONSULTANTS, INC.

E-mail: info@sec-landmgt.com
www.sec-landmgt.com

CORPORATE OFFICE:
20 STUTZ BEACRCAT DRIVE #6
SEDONA, ARIZONA 86336
(928) 282-7787
Fax: 282-0731

BRANCH OFFICE:
825 COVE PARKWAY
COTTONWOOD, ARIZONA 86326
(928) 634-5889
Fax: 634-2222

ADDITIONAL LOCATIONS:
PRESCOTT, ARIZONA
COUNCIL, IDAHO

Scott Ellis
Community Development Director
City of Cottonwood

2/10/2020

**Letter of Intent- Design Review Application
Parcels 406-42-013H & 406-42-013K**

Dear Scott,

We are pleased to submit the application and supporting documents for design review and site plan approval. The proposed development will consist of parcels 406-42-013H and 406-42-013K with a total area of 2.65 acres. The owner of the project is Cottonwood Mountain View Villa Apartments (CMVVA). CMVVA is closely related to the entity which owns a number of apartments in Cottonwood such as Mountain View Villas (MVV), as well as the Sagewood and Rio Verde Apartments. All properties are managed by Bella Investment group, also related to the owner.

The current development is located within a historic valley area. The intent of the design is to convey the onsite and off-site drainage using a pipe system. Site grading will take into account the elevation changes within the site, circulation, building orientation, and drainage conveyance. Proposed development will consist of 60 apartment units (3 buildings) and a club house. Refer to Site plan for additional information.

Buildings-

Mountain View Villas, as proposed, is a 60-unit multi-family residential apartment project comprised of three multi-level detached structures with a mix of 30 1-bedroom and 30 2-bedroom units. In addition, the project includes a two level, 3700 square foot (approximate) resident clubhouse. The clubhouse will be used by both new and existing apartments and will be designed to take advantage of the surrounding mountain views and to be sympathetic with the existing terrain and vegetation. The clubhouse and associated exterior patio and deck areas will have additional resident amenities such as an outdoor BBQ area and firepit, interior gym, billiards room, activity and meeting rooms, fire place, social area and catering kitchen.

Drainage-

Off-site drainage for this project is from the West and contributing from the existing MVV apartments. The existing MVV apartments concentrate the drainage to a basin which is then discharged. This discharge is considered the major off site drainage contribution. The proposed development will capture this flow and convey through a pipe system as shown on the civil site plans. The drainage through the pipe system will exit the site at the historic location. The pipe system will be terminated approximately 50' before the property line to bring the drainage back to the natural state.

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On-site drainage will be conveyed and controlled through a system of detention/retention basins. The site will be reviewed for the first flush within the proposed pavement area.

Circulation- The main entrance to the project is through 7th Street and the south boundary of parcel 406-42-013L. A secondary access is provided at the North section of the proposed development. (see site plan). The travel surface will consist of asphalt and will meet the fire department turning radius requirements.

Utilities

- Water-The development will be connected to City water. The water system will be looped by connecting to the existing MVV apartment distribution system. This will help better circulation and pressures for both the proposed and existing building.
- Sewer - will be connected to the City collection system. There exist some historic lines that may need to be relocated at the time of new contraction.
- Electricity will be provided by APS.
- Gas services will be provided by Unisource.

Landscaping and Pedestrian Circulation- The site will be developed in a manner which will encourage walking. There will be sidewalks and pathways connecting the buildings as well as the central recreational area. The central open area will consist of benches and landscaping which will act as a pocket park area. Landscaping will be scattered throughout the site as shown on landscape exhibit. All plants will meet the City of Cottonwood recommendations.

Please feel free to contact me at kginige@sec-landmgt.com or 928-634-5889 or Jim Moyer at jimoyer@cox.net or 602-762-5505 if you need additional information.

Thank you,



Krishan Ginige, PE, MS, CFM



Growth is inevitable...it's planning that makes the difference.



SOUTHWESTERN
ENVIRONMENTAL
CONSULTANTS, INC.

E-mail: info@sec-landmgt.com
www.sec-landmgt.com

CORPORATE OFFICE:
20 STUTZ BEACRCAT DRIVE #6
SEDONA, ARIZONA 86336
(928) 282-7787
Fax: 282-0731

BRANCH OFFICE:
825 COVE PARKWAY
COTTONWOOD, ARIZONA 86326
(928) 634-5889
Fax: 634-2222

ADDITIONAL LOCATIONS:
PRESCOTT, ARIZONA
COUNCIL, IDAHO

Scott Ellis
Community Development Director
City of Cottonwood

2/10/2020

**Mountain View Villa, PAD Extension
Parcels 406-42-013H & 406-42-013K**

Dear Scott,

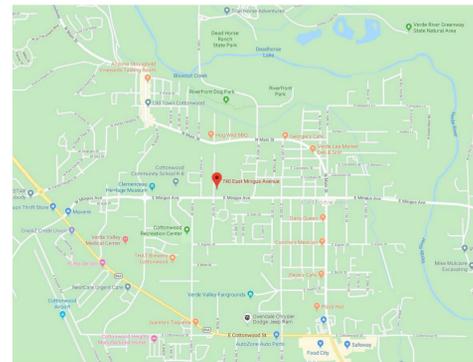
As you are aware we are in the process of submitting our application for design review. As part of the process, we would request the City to grant an extension to the current PAD. Based on the available information, we assume the time required completing the design and the construction is 3 years. Therefore we request an extension of 3 years from time of determination by the P&Z commission.

Please feel free to contact me at kginige@sec-landmgt.com or 928-634-5889 if you need additional information.

Thank you,

Krishan Ginige, PE, MS, CFM

VICINITY MAP



BUILDING DEPT.

CONSTRUCTION TYPE:	5B
ROOF CLASSIFICATION:	B
OCCUPANCY:	R2
AUTOMATIC SPRINKLER SYSTEM:	13R
YARD SETBACKS:	10'

PROJECT DATA

SITE AREA: 2.65 ACRE
 SITE ZONING: R-3
 TOTAL UNITS:
 30 1 BEDROOM - @ 625 SF 2-1/2 STORY
 30 2 BEDROOM - @ 825 SF 2-1/2 STORY

60 UNITS

PARKING REQUIRED:

30 1 BD UNITS @ 1.5 SPACE/UNIT = 45 SPACES
 30 2 BD UNITS @ 1.7 SPACE/UNIT = 51 SPACES
 30 (GUEST) @ 25 SPACE/UNIT = 8 SPACES
 PARKING REQUIRED 104
 PARKING PROVIDED 117
 INCLUDING 10 HANDICAP

BUILDING #1
 FOOTPRINT 11,508 sf
 GROSS AREA 28,770 sf (2-1/2 Story)

CLUBHOUSE - BLDG #2
 FOOTPRINT 1,613 sf
 GROSS AREA 3,761 sf

BUILDING #3
 FOOTPRINT 7,604 sf
 GROSS AREA 19,010 sf (2-1/2 Story)

BUILDING #4
 FOOTPRINT 4,660 sf
 GROSS AREA 11,650 sf (2.5 Story)

GROSS TOTAL FOR ALL: 63,191 sf

LANDSCAPING

SEE LANDSCAPING PLAN

SITE LIGHTING

CALCULATIONS BASED ON 2.65 ACRES @ 100,000 LUMENS PER ACRE
 265,000 LUMENS MAX. ALLOWED

ASSESSOR'S PARCEL NUMBER

406-42-013K

COTTONWOOD ZONING CLASSIFICATION

R-3

BELLA INVESTMENT GROUP

2409 N. FOURTH ST. #201
 FLAGSTAFF, AZ 86004
 (928)714-1800

SQUARE FOOTAGE

GROSS SQUARE FOOTAGE OF PARCEL: 115,43 SF

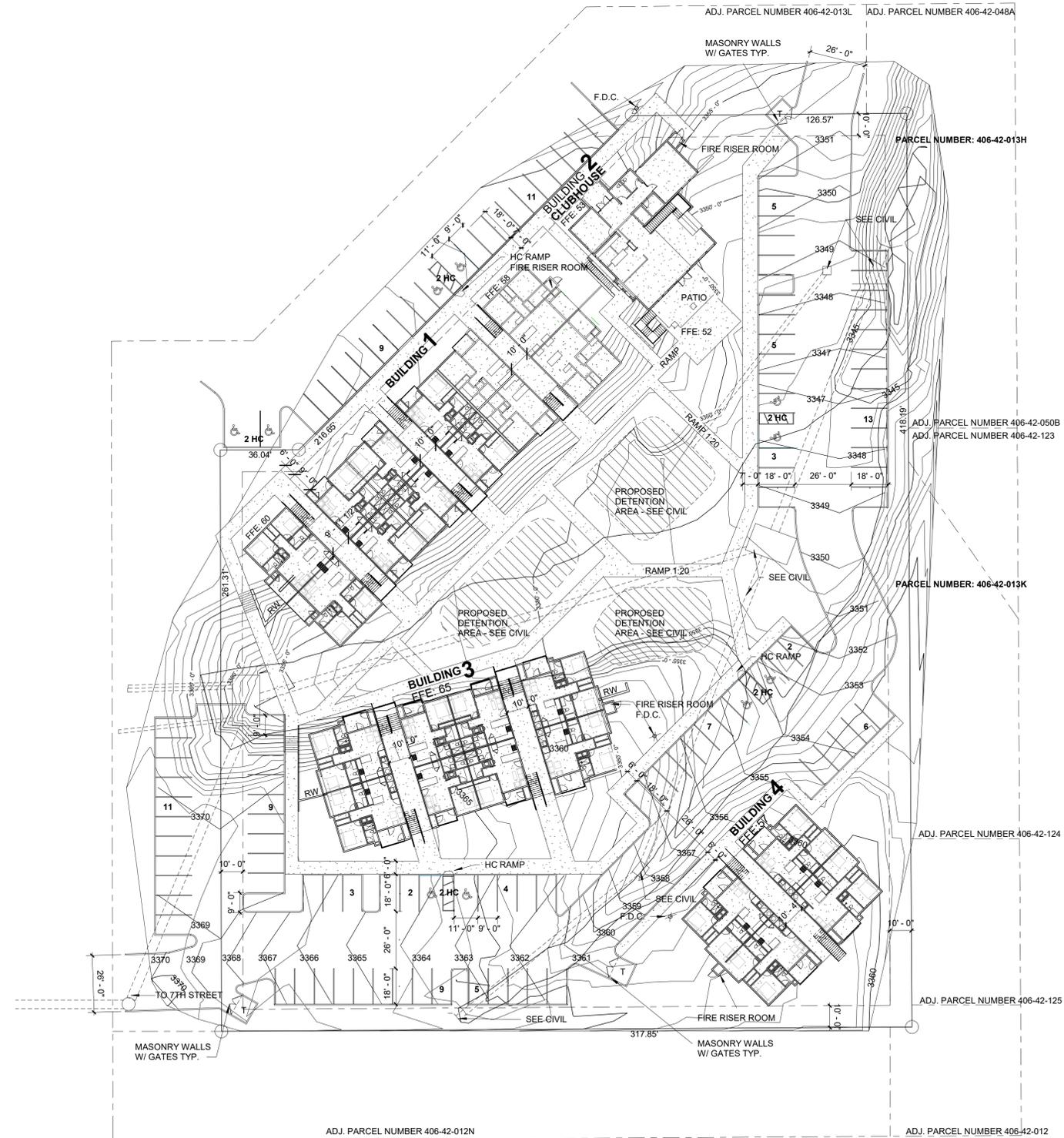
SQUARE FOOTAGE OF PROPOSED BUILDINGS: 63,191 SF

PERCENTAGE OF PARCEL COVERED BY BUILDINGS: 22%

PERCENTAGE OF PARCEL COVERED BY PARKING/
 DRIVEWAYS/ SIDEWALKS/ PATHWAYS: SEE CIVIL

REQUIRED PERCENTAGE OF PARCEL TO BE LANDSCAPED: 100% OF NON BUILDING AND HARDSCAPE- SEE LANDSCAPE PLAN

MAXIMUM LUMEN ALLOWANCE IN LIGHTING FIXTURES: 265,000 LUMENS (MAX. 100,000 PER ACRE)



1 SITE PLAN
 1" = 30'-0"



MT. VIEW VILLAS
BELLA INVESTMENT GROUP
 740 E. MINGUS AVE COTTONWOOD, AZ



REECE and ROWE
ARCHITECTS

4343 E. Avalon Drive
 Phoenix, Arizona 85018
 Phone: 602-957-4343
 Fax: 602-957-7546

1254 W. University Ave #100
 Flagstaff, Arizona 86001
 Phone: 928-779-4340
 Fax: 928-779-5087

REVISIONS:

TITLE: SITE PLAN
 SCALE: As indicated
 DATE: 11/14/2019
 JOB NO: 18409

A100



LANDSCAPE LEGEND

MATERIAL SELECTED IS DROUGHT TOLERANT

TREES	NAME AND SIZE	QUANTITY
	EXISTING TREE - TO REMAIN	56
	EXISTING NATRUE LANDSCAPE TO REMAIN	
	HONEY LOCUST GLEDITSIA TRICANTHOS 15 GAL	20
	DESERT WILLOW CHILOPSIS LINEARIS 15 GAL	9
	ARIZONA ASH FRAXINUS VELITINA 15 GAL	7
	VELVET MESQUITE PROSOPIS VELITINA 15 GAL	5
	FLOWERING PLUM PRUNUS VARIETIES 24" BOX (ADAPTIVE DECO TREE)	4
	TOTAL NO. TREES	101

SHRUBS	NAME AND SIZE	QUANTITY
	ROSEMARY (TRAILING) ROSEMARINUS PROSTRATA 1 GAL	57
	RED YUCCA HESPERALDE PARVI FLORA 5 GAL	8
	DESERT SAGE SALVIA COLUMBARIAE 1 GAL	20
	BUTTERFLY BUSH BUDDERIA ALTERNIFLORA 1 GAL	17
	COTONEASTER COTONEASTER DIVARICATA 1 GAL	42
	AUTUMN SAGE SALVIA GREGGI 1 GAL	8
	DEER GRASS MUHLENBERGIA RIGENS 1 GAL	7
	TOTAL NO. SHRUBS:	165

ADDITIONAL LANDSCAPE MATERIAL		
	BOULDERS (SIZE IN FT. AS NOTED)	6
	TURF (SOD)	AS INDICATED
	DECOMPOSED GRANITE 3/4" MINUS DESERT GOLD	ALL DEVELOPED AREAS
	METAL EDGE	AS INDICATED
	RIVER RUN 3" - 5"	AS INDICATED

LANDSCAPE NOTES

BUILDING LANDSCAPE: 1 TREE/ 50LF EXTERIOR WALL
 PROPERTY LINE LANDSCAPE: 1 TREE/ 25 LF PROPERTY LINE LENGTH
 3 SHRUBS/ 25 LF PROPERTY LINE LENGTH
 BLDG. LIN. FT: 1650 LF / 50 = 33 TREES REQ: 40 PROVIDED
 PROP. LINE LENGTH: 1377 LF / 25 = 55 TREES REQ: 61 PROVIDED
 110 SHRUBS REQ: 165 PROVIDED
 ALL REQUIRED LANDSCAPING TO CONFORM TO COTTONWOOD REQUIREMENT PER ORD. SECTION 407.

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MT. VIEW VILLAS
BELLA INVESTMENT GROUP
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REECE and ROWE
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 ARCHITECTS

4343 E. Avalon Drive
 Phoenix, Arizona 85018
 Phone: 602-957-4343
 Fax: 602-957-7546

1254 W. University Ave #100
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REVISIONS:

TITLE: LANDSCAPE PLAN
 SCALE: As indicated
 DATE: 11/14/2019
 JOB NO: 18409

A101

LIGHTING LEGEND							
SYMBOL	FIXTURE	MANUF / MANUF #	WATTS	LUMENS	TOTAL NO. OF FIXTURES	TOTAL NO. OF LUMENS	NOTES
	A	LIGMAN UMS-90281	39W	4872 AMBER LED	12	58,464	12'-0" POLE WITH 3'-0" x 1'-6" DIA. CONCRETE BASE
	B	PRESCOLITE LITEFORMS 1152	10W	950 AMBER LED	20	19,000	WALL BRACKET
	C	LIGMAN ULI-10021	29W	3169 AMBER LED	18	57,042	
	D	LIGMAN ULB-40436	4W	39 AMBER LED	8	312	

ALL AMBER LED FIXTURES ARE TURTLE FRIENDLY
 ALL AMBER LAMPS FALL BETWEEN 585 - 595 nm

TOTAL LUMENS PROVIDED: 134,818
 TOTAL LUMENS ALLOWED: 265,000

CALCULATIONS BASED ON 2.65 ACRES AT 100,000 LUMENS PER ACRE
 265,000 LUMENS MAXIMUM ALLOWED



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MOUNTAIN VIEW VILLA II
JIM MOYER
 740 E. MINGUS AVE
 COTTONWOOD, ARIZONA



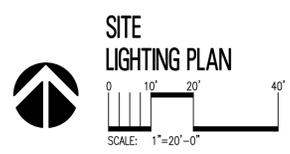
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 Fax: 928-779-5087

REVISIONS:

SITE
 TITLE: LIGHTING PLAN
 SCALE: 1"=20'-0"
 DATE: 05 FEB 2020
 JOB NO: RAR18409

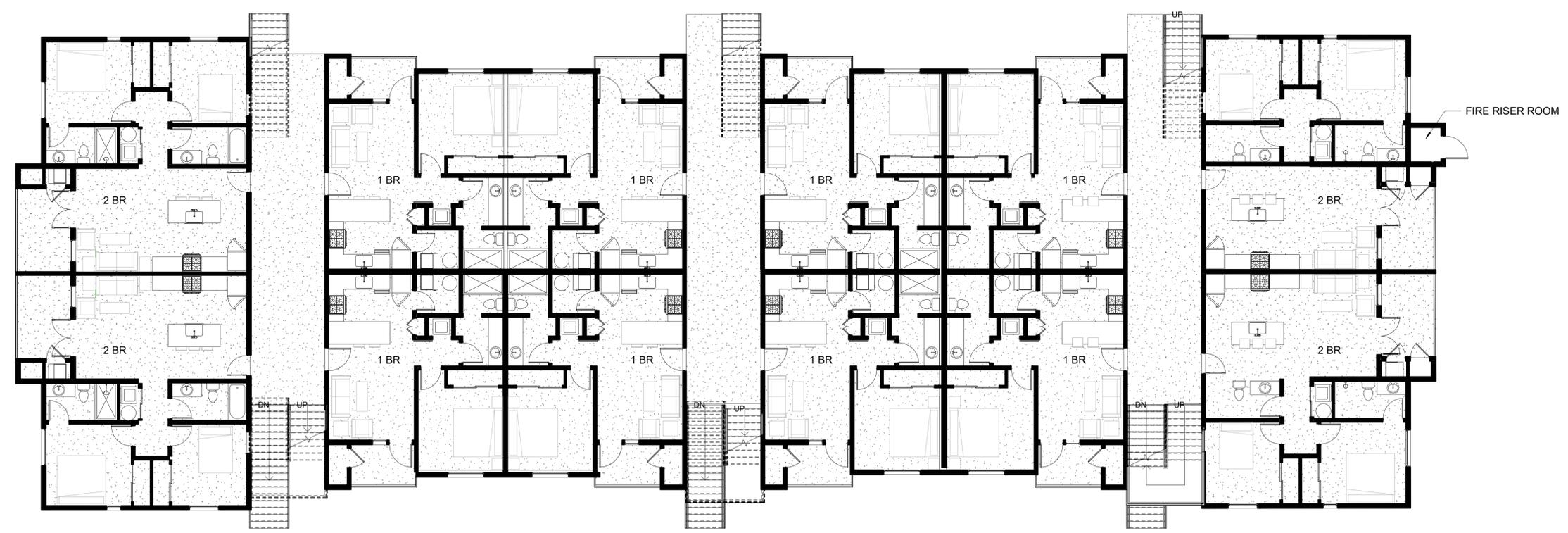


A102

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MT. VIEW VILLAS - BLDG #1

JIM MOYER
740 E. MINGUS AVE COTTONWOOD, AZ



② GROUND LEVEL
1/8" = 1'-0"



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ARCHITECTS

4343 E. Avalon Drive
Phoenix, Arizona 85018
Phone: 602-957-4343
Fax: 602-957-7546

1254 W. University Ave #100
Flagstaff, Arizona 86001
Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS:

FLOOR PLAN
TITLE: LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A200

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MT. VIEW VILLAS - BLDG #1
JIM MOYER
 740 E. MINGUS AVE COTTONWOOD, AZ



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 Phoenix, Arizona 85018
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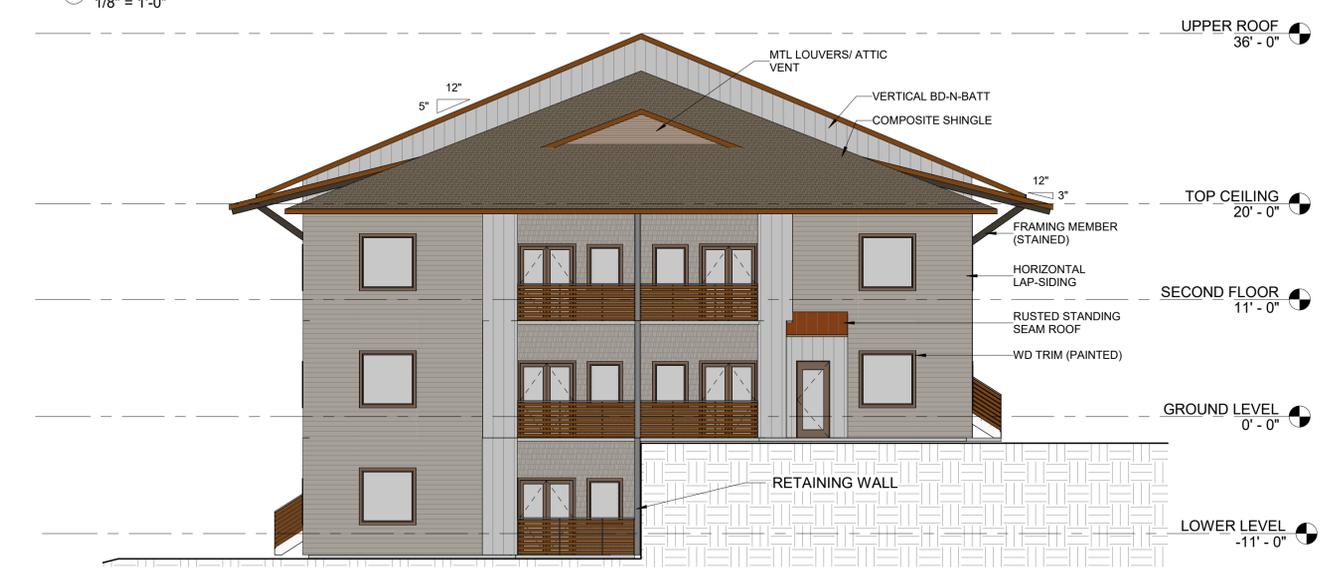
REVISIONS:

TITLE: EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: 2020-02-06
 JOB NO: 18409

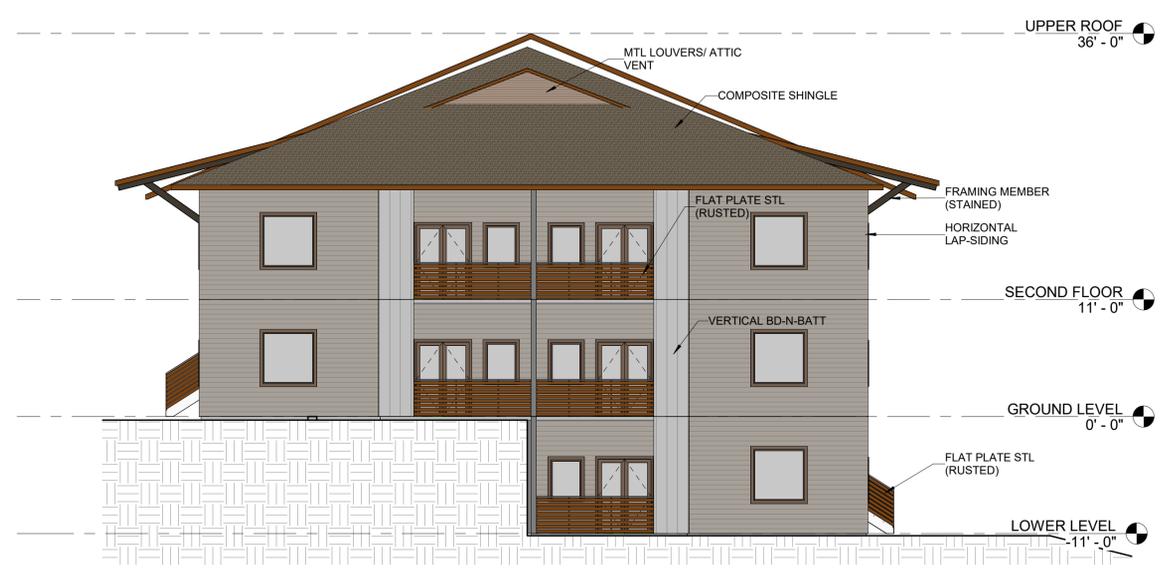
A400



01 NORTH
 1/8" = 1'-0"



02 EAST
 1/8" = 1'-0"



03 WEST
 1/8" = 1'-0"



04 SOUTH
 1/8" = 1'-0"

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MT. VIEW VILLAS - BLDG #3

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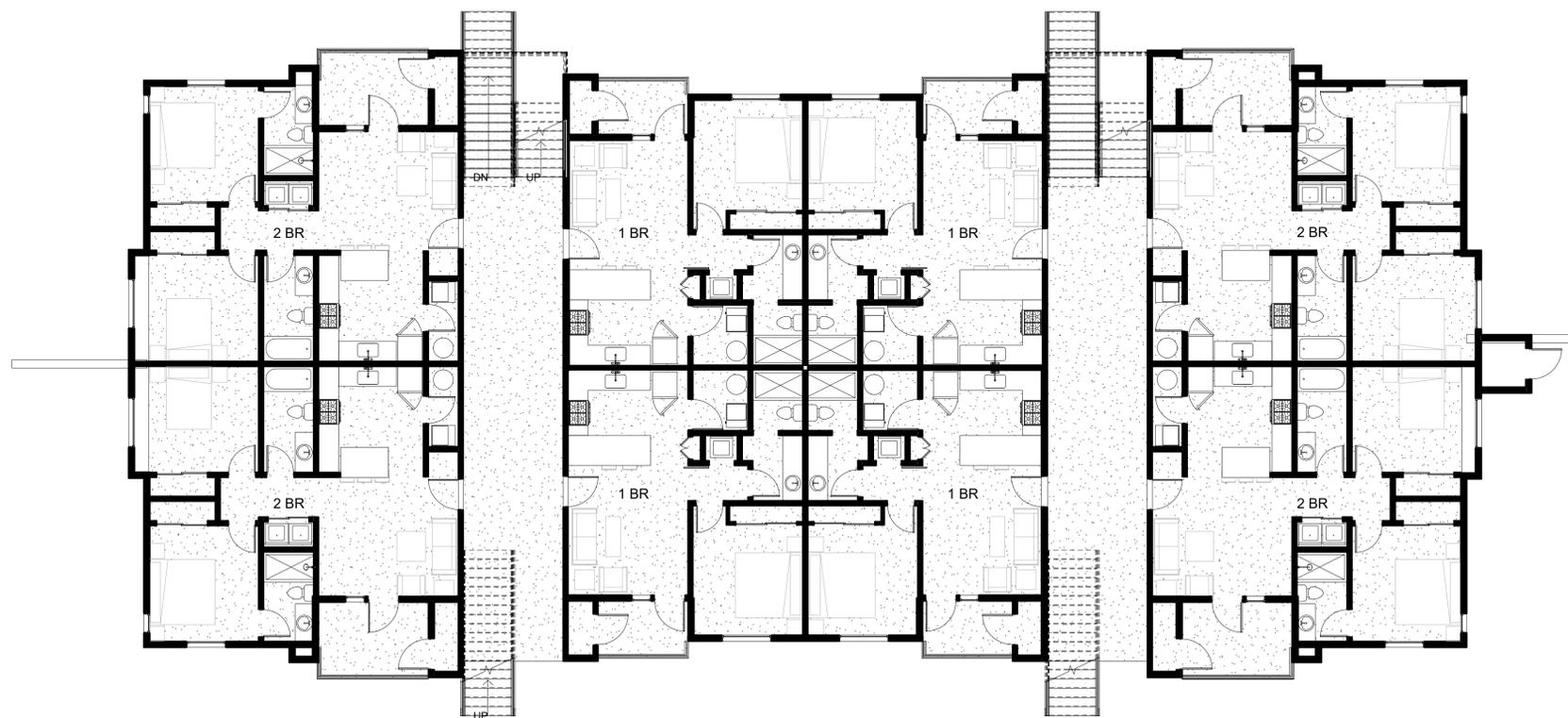
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Fax: 602-957-7546

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Flagstaff, Arizona 86001
Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS:

TITLE: FLOOR PLAN
LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A200

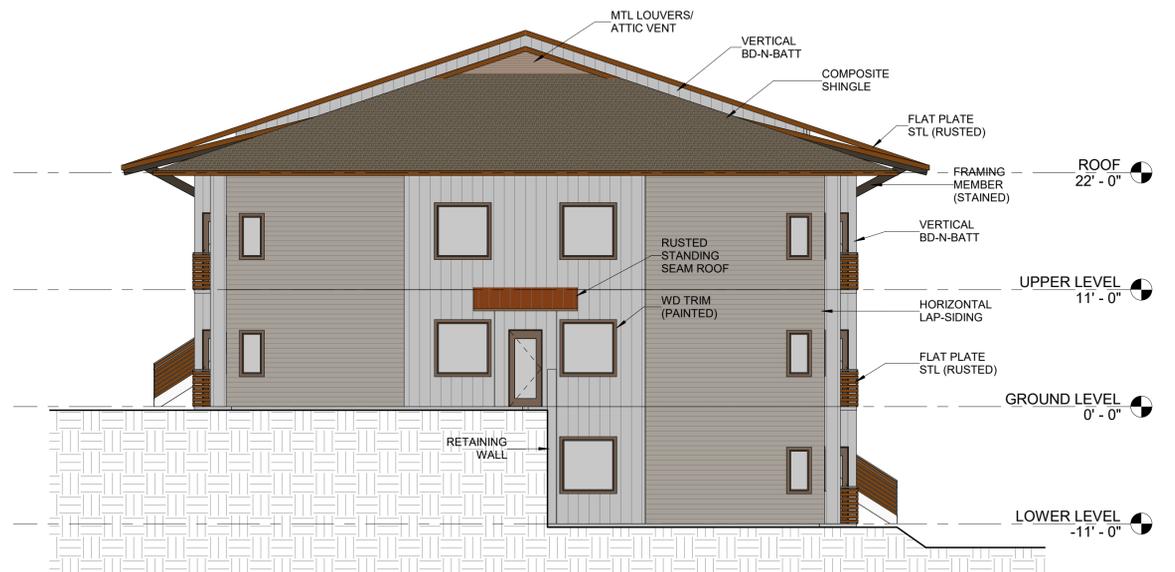


② GROUND LEVEL
1/8" = 1'-0"

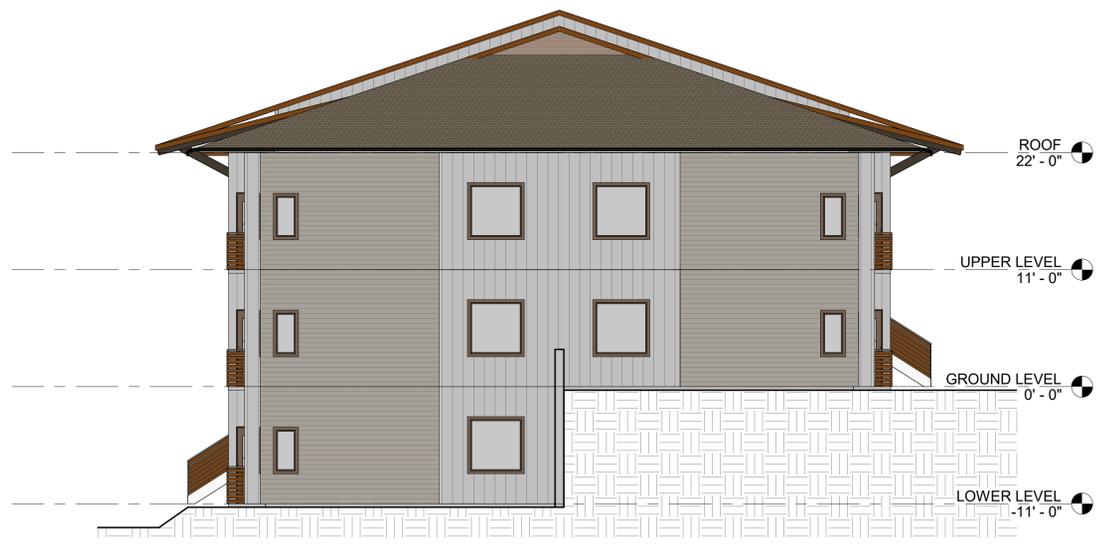
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01 NORTH
1/8" = 1'-0"



02 EAST
1/8" = 1'-0"



03 WEST
1/8" = 1'-0"



04 SOUTH
1/8" = 1'-0"

MT. VIEW VILLAS - BLDG #3
JIM MOYER
740 E. MINGUS AVE COTTONWOOD, AZ



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ARCHITECTS

4343 E. Avalon Drive
Phoenix, Arizona 85018
Phone: 602-957-4343
Fax: 602-957-7546

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Fax: 928-779-5087

REVISIONS:

TITLE: EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A400

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MT. VIEW VILLAS - BLDG #4

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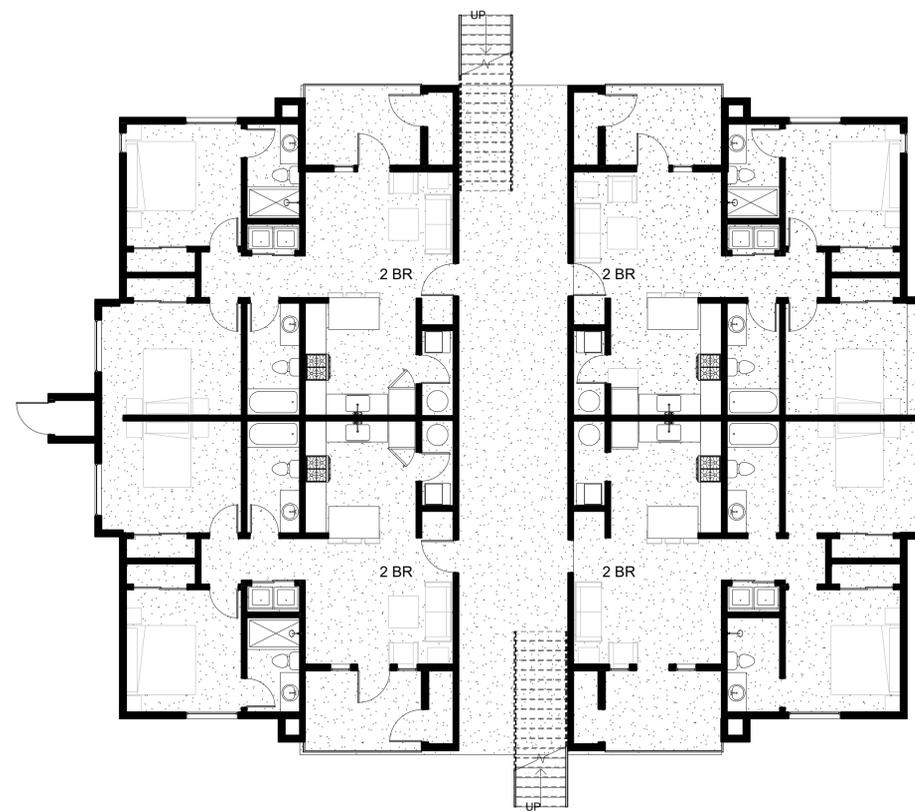
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Fax: 602-957-7546

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Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS: _____

FLOOR PLAN
TITLE: LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A200



① GROUND FLOOR
1/8" = 1'-0"

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MT. VIEW VILLAS - BLDG #4
JIM MOYER
 740 E. MINGUS AVE COTTONWOOD, AZ



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 Phoenix, Arizona 85018
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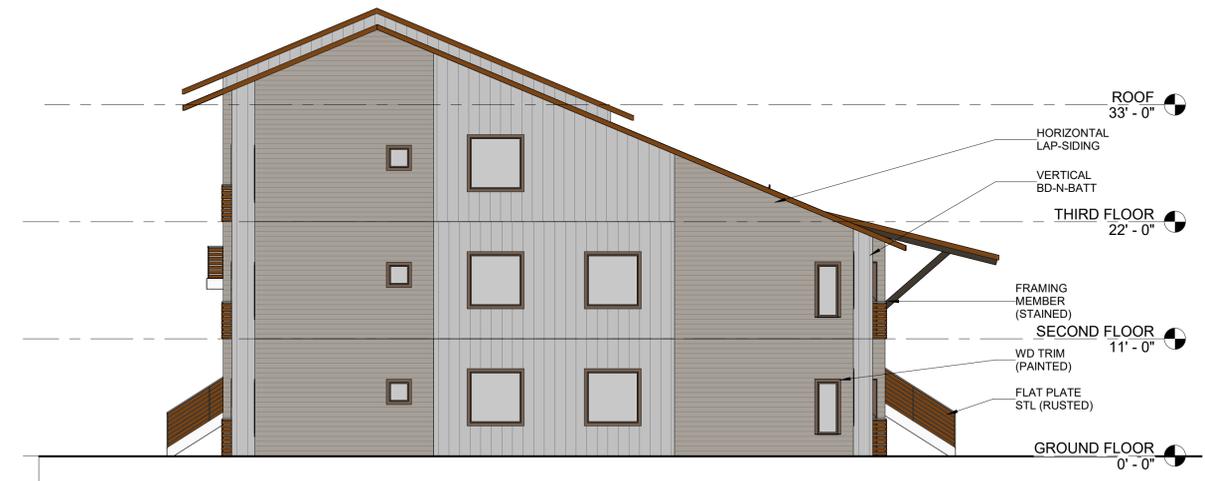
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TITLE: EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: 2020-02-06
 JOB NO: 18409

A400



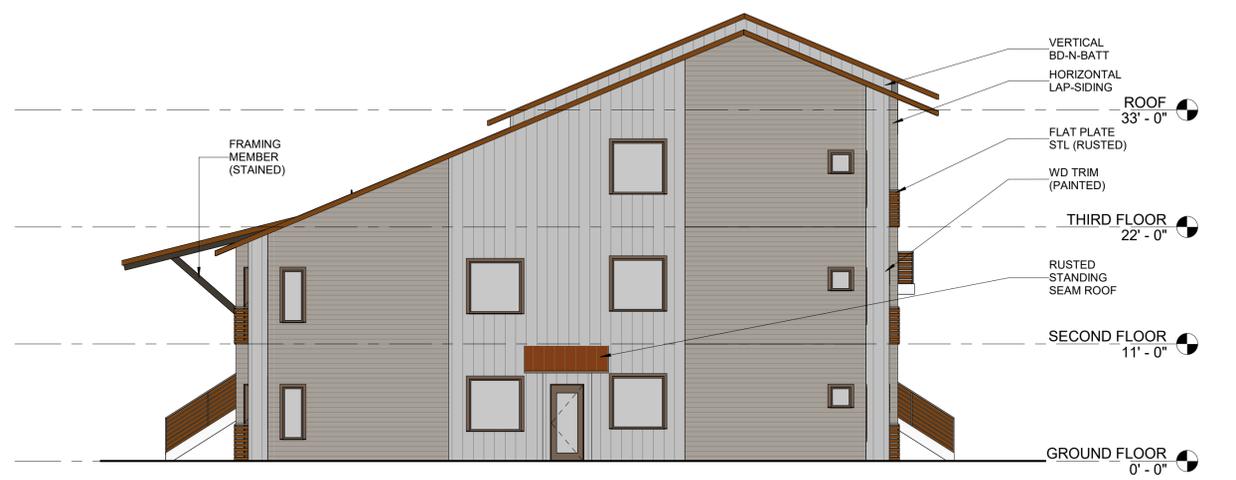
01 NORTH
 1/8" = 1'-0"



02 EAST
 1/8" = 1'-0"



03 SOUTH
 1/8" = 1'-0"



04 WEST
 1/8" = 1'-0"

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MT. VIEW VILLA CLUBHOUSE
JIM MOYER
740 E. MINGUS AVE COTTONWOOD, AZ

PRELIMINARY
NOT FOR CONSTRUCTION

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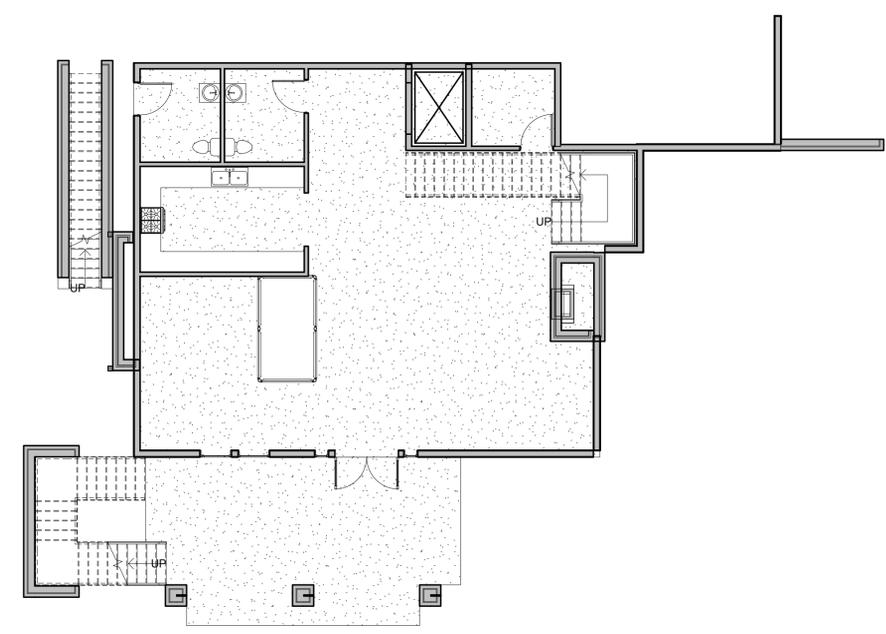
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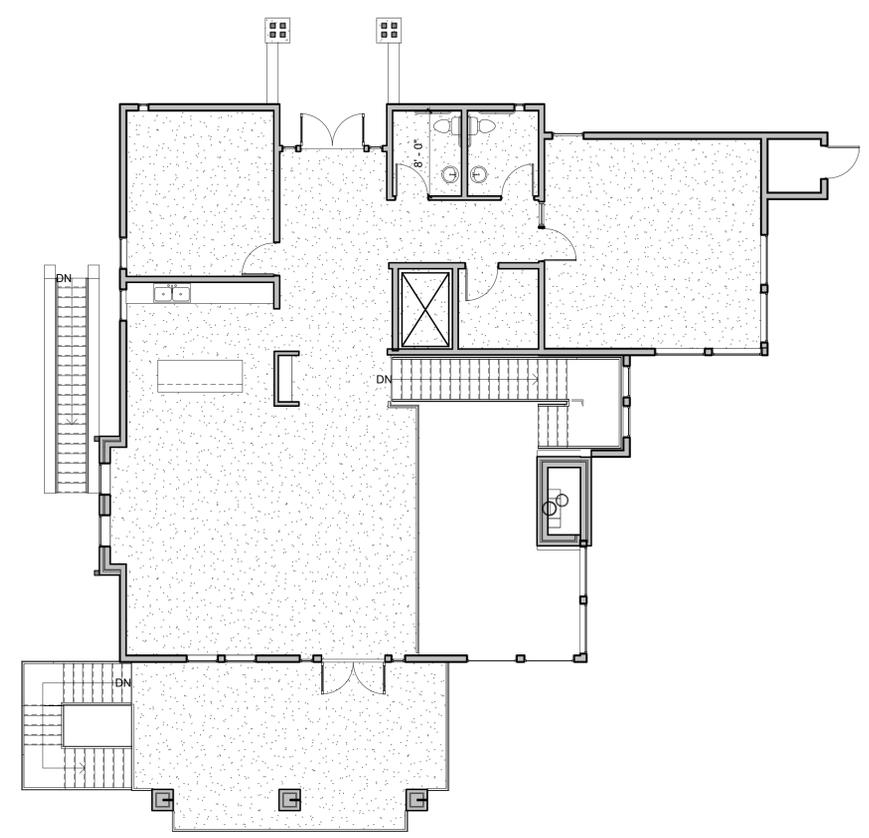
REVISIONS:

TITLE: FLOOR PLAN
LEVEL: LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 02/06/2020
JOB NO: 18409

A200



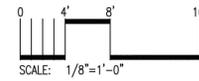
① FIRST FLOOR
1/8" = 1'-0"



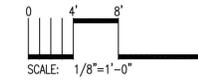
② SECOND FLOOR
1/8" = 1'-0"



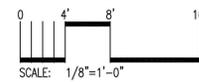
WEST ELEVATION



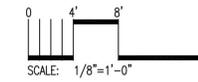
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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MOUNTAIN VIEW VILLAS II CLUBHOUSE

JIM MOYER
740 EAST MINGUS AVENUE
COTTONWOOD, ARIZONA 86326



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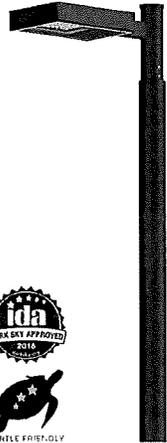
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REVISIONS: _____

EXTERIOR
TITLE: ELEVATIONS
SCALE: 1/8"=1'-0"
DATE: 06 FEB 2020
JOB NO: RAR18409

A3.0



38w LED
4872 Lumens

IP54
Suitable for wet locations

IK07
Impact Resistant (Vandal Resistant)

EPA - 1.81

Weight 29.7 lbs

POLE NOT INCLUDED



Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B3 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

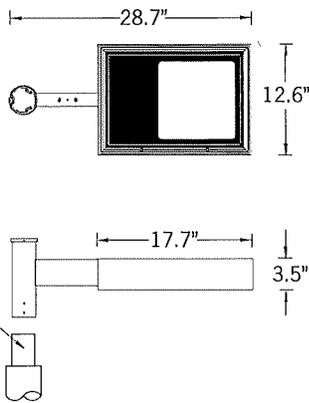
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Rectangular, adjustable area-lighting column fixture family. Timeless angular form factor with a multitude of output choices to suit all area applications.

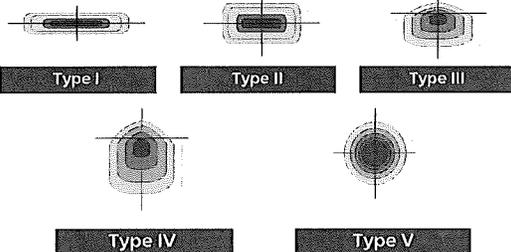
A slim pole mount area light with a variety of different distributions to suit all lighting designer's requirements. The Mustang can be utilized to suit specific light patterns using the asymmetrical type II, III, IV and symmetrical lens optics, as well as variations of these for precise light distribution requirements. An example of this is using a combination of Type II & Type IV distribution optics inside the same fixture.

This luminaire is suitable for most applications and complies to dark sky requirements. Designed for lighting private roadways, car parks, exhibition areas, service stations and truck stops. Internal house side shields are available as an option. This luminaire is provided prewired with power cord to the handhole to simplify installation.

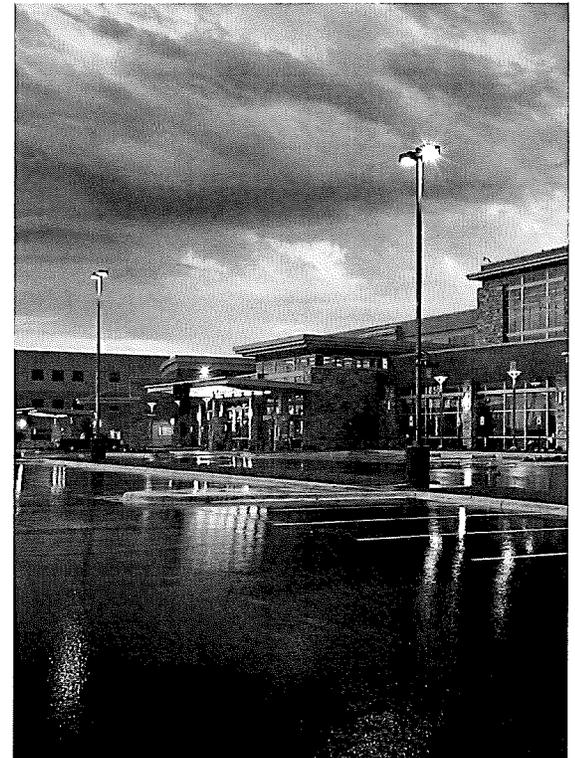
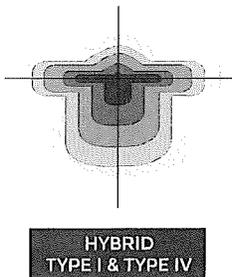
Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting controls to integrate with building management systems, as well as integrated occupancy sensors [contact the factory for more information] Easy access to the luminaire for maintenance.



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



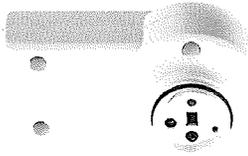
The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



HIGH/LOW/OFF PIR OUTDOOR PHOTO/MOTION SENSOR IP66 - **legrand** Integrated photocell

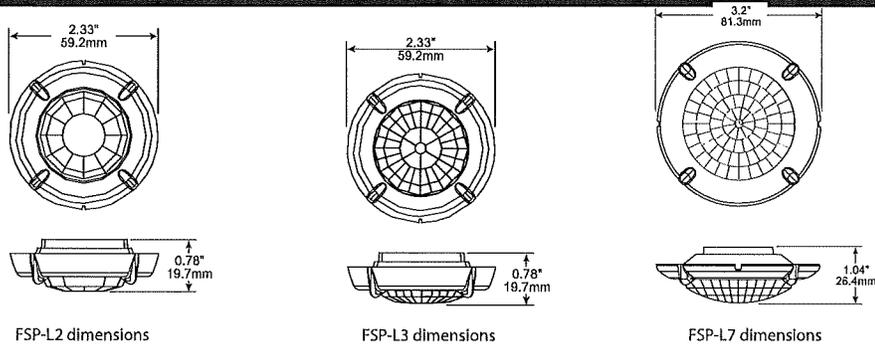


Ligman provides integrated photocell control using the wattstopper legrand FSP-211B. These units are installed inside the fixture housing with only the external lenses being visible



FSP-211B

Dimensions of Lens Options



Product Overview

The FSP-221B is a family of passive infrared (PIR) outdoor sensors that raise or lower the electric lighting level to high, low or off based on motion and/or daylight contribution. Typically, once the sensor stops detecting movement and the time delay elapses, lights will first fade to low mode, and eventually switch off. When motion is detected, the sensor ramps the light level to high mode unless the daylight contribution is sufficient.

The integral photocell can also switch the lights on and off for dusk to dawn control, so that lighting remains on overnight even without motion detection.

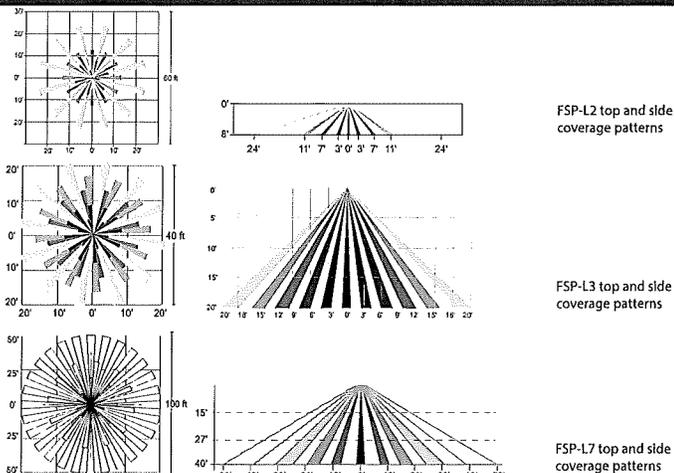
The sensors control 0-10VDC or nondimming LED drivers or ballasts.

The low voltage FSP-201B may be used with dim-to-off drivers or ballasts.

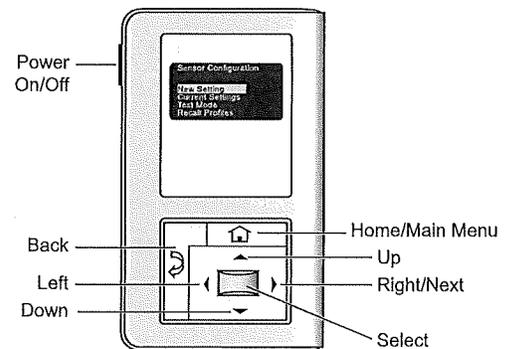
Initial setup and subsequent sensor adjustments are made using a Wireless Handheld Configuration Tool (FSIR-100). This tool enables adjustment of sensor parameters including high/low mode, sensitivity, time delay, cut off and more.

The FSIR-100 can read current parameter settings, and stores up to six sensor parameter profiles to speed commissioning of multiple sensors.

Coverage

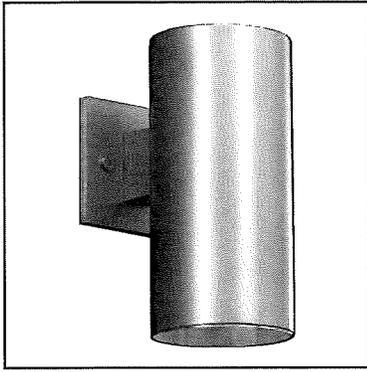


Models	
FSP-211B, 120-277 VAC	
FSP-221B, 100-347 VAC	
Specifications and Features	
Three interchangeable lenses for mounting between 8' and 40'	
Remote setup and adjustment with handheld wireless configuration tool	
Adjustable high and low modes (high: 0 to 10V, low: off, 0 to 9.8V)	
Adjustable time delay (30 seconds, 1 to 30 minutes)	
Adjustable cut off delay (none, 1 to 59 minutes, 1 to 5 hours)	
Adjustable sensitivity/service mode (low, med, max; on-fix, off-fix)	
Adjustable setpoints: hold off setpoint (none, 1 to 250 fc, auto); photocell on/off setpoint (1 to 250 fc)	
Adjustable ramp and fade times (1 to 60 seconds)	
Operating temperature: -40°F to +167°F (-40°C to +75°C)	
IP66 rated	
Five year warranty	
Factory Defaults	
High mode:	10V
Low mode:	1V
Time delay:	5 minutes
Cut off:	1 hour
Setpoint:	Disabled
Sensitivity:	Max
Ramp up time:	Disabled
Fade down time:	Disabled
Photocell On/Off:	Disabled



The FSIR-100 is a convenient handheld remote tool for sensor setting. Adjustable settings can be changed as needed for specific applications.

Catalog #	Color	Description
FSP-L2	White/Grey/Black/Brown	360° lens, maximum coverage 48' diameter from 8' height
FSP-L3	White/Grey/Black/Brown	360° lens, maximum coverage 40' diameter from 20' height
FSP-L7	White/Grey/Black/Brown	360° lens, maximum coverage 100' diameter from 40' height
FSIR-100	Black	Remote Handheld Configuration Tool



5" Direct Wall Mount Cylinder

1152

One 75W BR30 or PAR30 Lamp
120V

DATE: _____ TYPE: **B**

FIRM NAME: _____

PROJECT: _____



For conversion to millimeters,
multiply inches by 25.4
Not to Scale

APPLICATIONS:

The 1152 is a small-scale wall mount cylinder used to achieve direct illumination patterns on vertical walls or columns. The 1152 is suitable for a wide variety of commercial, retail and institutional applications.

HOUSING:

.052" thick seamless extruded aluminum cylinder with diecast aluminum canopy, arm and bracket. Interlocking parts ensure proper cylinder alignment. Durable powder coat paint finish. Specify: brushed aluminum, matte black, bronze, matte white or Prescolite's exclusive Zet, metallic silver.

REFLECTOR:

Specify painted black interior, one-piece milligroove black baffle, black cone, or clear Alzak reflector.

LAMP:

One (1) 75W PAR30 or BR30 lamp. Lamp furnished by others.

SOCKET:

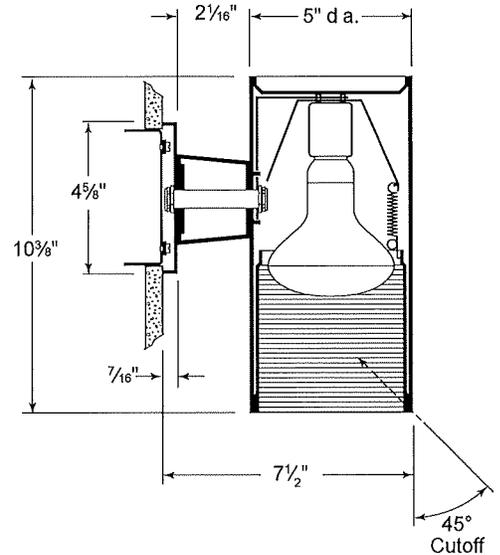
Porcelain socket with nickel plated screw shell.

INSTALLATION:

Easy installation onto standard J-box.

LABELS:

UL, CSA listed for wet locations



CATALOG NUMBER:

EXAMPLE: 1152-962BZ

HOUSINGS	FINISH OPTIONS	
<input type="checkbox"/> 1152 5" Direct wall mount cylinder with painted black interior. One 75W PAR30 or BR30	<input type="checkbox"/> BA Brushed aluminum-	Special Reflector Finishes: Refer to specification sheet LFO-INC-037 for reflector capabilities
<input type="checkbox"/> 1152-910 5" Direct wall mount cylinder with black milligroove baffle. One 75W PAR30 or BR30	<input type="checkbox"/> BL Matte black <input type="checkbox"/> BZ Bronze <input type="checkbox"/> WH Matte White <input type="checkbox"/> Z "Zet" metallic silver	
<input type="checkbox"/> 1152-960 5" Direct wall mount cylinder with black cone. One 75W PAR30 or BR30		
<input type="checkbox"/> 1152-962 5" Direct wall mount cylinder with clear Alzak reflector. One 75W PAR30 or BR30		



In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
Web: www.prescolite.com • Tech Support: (888) 777-4832

LFO-INC-005

Project Name:	Type:
Part Number:	Date:



GREENCREATIVE

VALUE SELECT PAR FAMILY

FEATURES

- Suitable to replace 50W, 75W, 120W halogen
- Smooth dimming with existing dimmers*
- Compact size 1:1 halogen form factor
- Narrow & flood beam angles
- Suitable for use in wet locations
- Operating temperature: -4°F / -20°C to +95°F / +35°C
- Rated Lifetime (L70): 25,000hrs
- 3 years limited warranty



SPECIFICATIONS

Product	Model	Equiv.	Wattage (W)	CCT	Lumens	Efficacy (LPW)	Input Voltage	Beam Angle	CBCP (cd)	GRI	Dim.*	Power Factor	Base	Fixture Rating	ES
34933	5.5PAR20DIM/830NF25/N	50W	5.5	3000K	525	95	120V	25°	1180	82	Yes	0.7	E26	Non-Enclosed	✓
34934	5.5PAR20DIM/830FL40/N	50W	5.5	3000K	525	95	120V	40°	595	82	Yes	0.7	E26	Non-Enclosed	✓
34935	5.5PAR20DIM/840NF25/N	50W	5.5	4000K	525	95	120V	25°	1180	82	Yes	0.7	E26	Non-Enclosed	✓
34936	5.5PAR20DIM/840FL40/N	50W	5.5	4000K	525	95	120V	40°	595	82	Yes	0.7	E26	Non-Enclosed	✓
34937	10PAR30DIM/830NF25/N	75W	10	3000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34938	10PAR30DIM/830FL40/N	75W	10	3000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34939	10PAR30DIM/840NF25/N	75W	10	4000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34940	10PAR30DIM/840FL40/N	75W	10	4000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34941	10PAR30SNDIM/830NF25/N	75W	10	3000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34942	10PAR30SNDIM/830FL40/N	75W	10	3000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34943	10PAR30SNDIM/840NF25/N	75W	10	4000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34944	10PAR30SNDIM/840FL40/N	75W	10	4000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34945	13.5PAR38DIM/830NF25/N	120W	13.5	3000K	1280	95	120V	25°	5385	82	Yes	0.7	E26	Non-Enclosed	✓
34946	12PAR38DIM/830FL40/N	120W	12	3000K	1150	95	120V	40°	2235	82	Yes	0.7	E26	Non-Enclosed	✓
34947	13.5PAR38DIM/840NF25/N	120W	13.5	4000K	1280	95	120V	25°	5385	82	Yes	0.7	E26	Non-Enclosed	✓
34948	12PAR38DIM/840FL40/N	120W	12	4000K	1150	95	120V	40°	2235	82	Yes	0.7	E26	Non-Enclosed	✓

* This lamp might not be compatible with all dimmers. Please visit www.greencreative.com for compatibility information.



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G1

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Area distribution bollard-integrated projectors. Stylish but technically precise area lighting solutions as part of a large flexible family.

Light Linear PT Bollard is an elegant minimalistic bollard that is suitable for both modern and classic architecture. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LED's, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.

An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture.

This product range is available in 29w and 55w options, as single & double head styles.

Customer specific wattages can be provided, contact the factory for more information.

This luminaire complies to Dark Sky requirements.

Bollards can be provided with GFCI boxes positioned to specific heights specified by the customer.

Internal house side shields are available as an option.

Optional: Security Bollard:

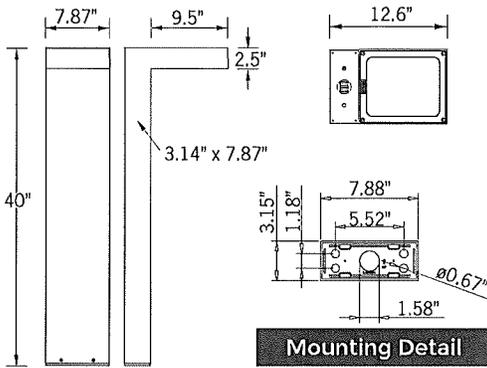
The Light Linear Bollard is available as a traffic rated security bollard.

This security bollard provides restraint of vehicular traffic in unauthorized areas.

Impact calculations shows this bollard will stop a 5,500lb/2.75 tons vehicle, travelling at 30mph.

The galvanized pole must be filled with concrete up to the waterproof driver housing to provide a solid concrete barrier.

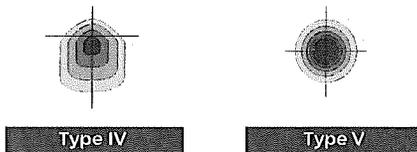
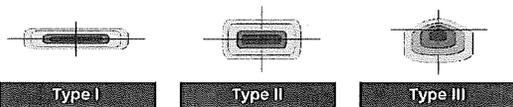
29w LED 3169 Lumens
IP65 • Suitable For Wet Locations
IK07 • Impact Resistant (Vandal Resistant)
Weight 24.6 lbs



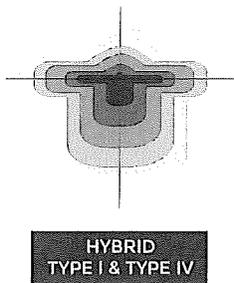
Mounting Detail



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.

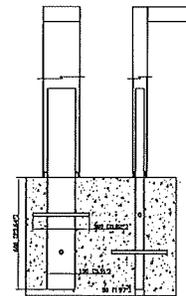


The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



HYBRID
TYPE I & TYPE IV

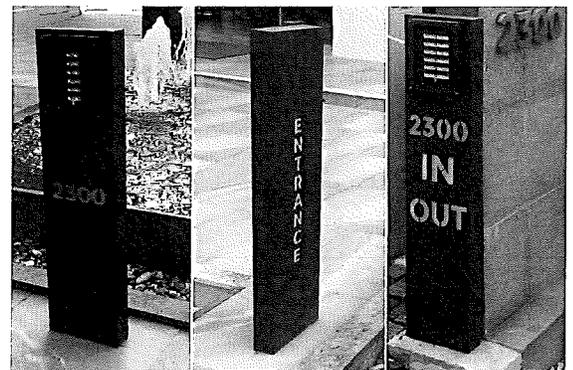
Additional Options (Consult Factory For Pricing)



SB
Security Bollard



GFCI
GFCI Box



RGBW or Static Color Laser Cut Lettering, Logos & Designs (LLVT Bollard shown for visual reference)

Ligman can provide custom logos and signage in the Light Linear Bollard
The Images above show this feature in the Light Linear VT Bollard

ULI-10021

Light Linear PT 1 Single Head Bollard



PROJECT	<input type="text"/>	DATE	<input type="text"/>
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QUANTITY	<input type="text"/>	TYPE	<input type="text" value="C"/>	NOTE	<input type="text"/>
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ORDERING EXAMPLE || ULI - 10021 - 29w - T2 - W30 - 02 - 120/277v - Options

ULI-10021	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	29w LED 3169 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

<input type="text"/>	<input type="text"/>	<input type="text"/>
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ADDITIONAL OPTIONS

- NAT - Natorium Rated
- F - Frosted Lens
- GFCI - GFCI Box
- DIM - 0-10v Dimming
- AMB - Turtle Friendly Amber LED
- HGT- Custom Bollard Height
- HSS - House Side Shield
- SB - Security Bollard
- EMG - Emergency Pack

<input type="text"/>

LASER CUT LETTERING (cannot be used in conjunction with security bollard)

- RGBW - Color Changing RGBW
- SC - Static Color (Choose Color e.g Red, Blue etc.)

WORDS FRONT	WORDS BACK
<input type="text"/>	<input type="text"/>

CONSULT FACTORY FOR CUSTOM DESIGNS, LOGOS AND OTHER SPECIAL REQUIREMENTS
FACTORY DRAWINGS WILL BE PROVIDED PRIOR TO PRODUCTION

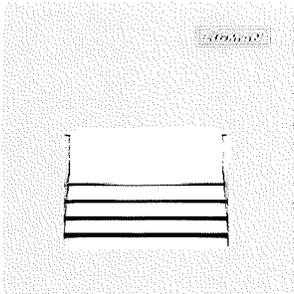
Light Linear Product Family



7144 NE Progress Court
Hillsboro, Oregon 97124
T: 503.645.0500 | F: 503.645.800

Ugman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.





Construction

Aluminum Casting

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

BUG Rating

B0 - U1 - G0

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Opal Borosilicate Glass Lens

Provided with opal borosilicate impact resistant glass.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Contemporary wayfinding fixture for glare free visual comfort. Sophisticated design, with minimal footprint and available with optional surrounds and supply solutions.

A range of square recessed wall luminaires, with an indirect optical system, offering high vandal resistance. Suitable for indoor or outdoor applications for use in shopping malls and pedestrian areas as a decorative wall guide light. Main characteristics are low glare and the limited maintenance concept.

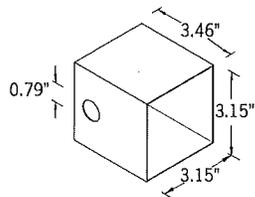
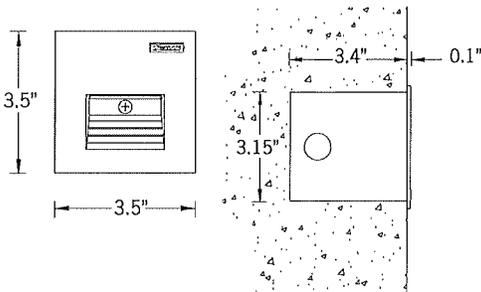
The luminaires are a high quality SMD (LED's) source with low energy consumption and long service life 60,000 – 80,000 Hrs. Fixture is secured to the recessing box using a hidden screw that provides vandal resistant fixture installation.

A remote driver is provided as a standard for outdoor applications. Contractor to provide remote mount waterproof box. This fixture can be provided with a Ligman waterproof box, selected below in options. As an option, this product can be provided with an integrated driver in the galvanized recessing box, however this is for use in indoor/dry locations only. Galvanized recessing box supplied standard. Available in turtle friendly amber and white 2700K, 3000K, 3500K and 4000K.

Note : The LBX black and dark grey paint finish are not recommended due to low light output. This fixture is suitable for concrete pour applications.

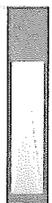
All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options.

4w LED 39 Lumens
IP65 • Suitable For Wet Locations
IK04 • Impact Resistant (Vandal Resistant)
Weight .66 lbs



Recessing Box

LBX Product Family



ULB-10842 [6.3"]



ULB-10851 [4"]



ULB-10861 [7.3"]

Additional Options (Consult Factory For Pricing)



A80191
3" x 10" Remote Enclosure Box



ULB-40436

LBX 1 Recessed

PROJECT		DATE	
----------------	--	-------------	--

QUANTITY		TYPE	P	NOTE	
-----------------	--	-------------	---	-------------	--

ORDERING EXAMPLE || ULB-40436 - 4w - W30 - 02 - 120/277V

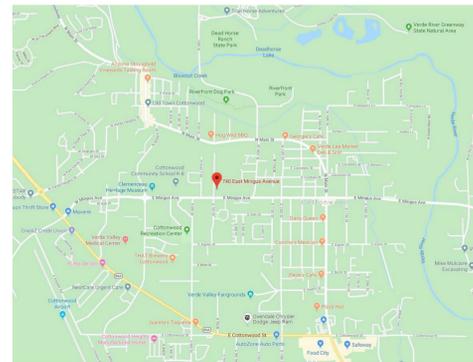
ULB-40436				
LAMP	LED COLOR	FINISH COLOR	VOLTAGE	
4w LED 39 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- NAT - Natatorlum Rated
- AM - Turtle Friendly Amber LED
- A80191 - Remote Enclosure Box [Required for Wet Locations]
- ID - Integrated Driver [Indoor Dry Location Only]

VICINITY MAP



BUILDING DEPT.

CONSTRUCTION TYPE:	5B
ROOF CLASSIFICATION:	B
OCCUPANCY:	R2
AUTOMATIC SPRINKLER SYSTEM:	13R
YARD SETBACKS:	10'

PROJECT DATA

SITE AREA: 2.65 ACRE
 SITE ZONING: R-3
 TOTAL UNITS:
 30 1 BEDROOM - @ 625 SF 2-1/2 STORY
 30 2 BEDROOM - @ 825 SF 2-1/2 STORY

60 UNITS

PARKING REQUIRED:

30 1 BD UNITS @ 1.5 SPACE/UNIT = 45 SPACES
 30 2 BD UNITS @ 1.7 SPACE/UNIT = 51 SPACES
 30 (GUEST) @ 25 SPACE/UNIT = 8 SPACES
 PARKING REQUIRED 104
 PARKING PROVIDED 117
 INCLUDING 10 HANDICAP

BUILDING #1
 FOOTPRINT 11,508 sf
 GROSS AREA 28,770 sf (2-1/2 Story)

CLUBHOUSE - BLDG #2
 FOOTPRINT 1,613 sf
 GROSS AREA 3,761 sf

BUILDING #3
 FOOTPRINT 7,604 sf
 GROSS AREA 19,010 sf (2-1/2 Story)

BUILDING #4
 FOOTPRINT 4,660 sf
 GROSS AREA 11,650 sf (2.5 Story)

GROSS TOTAL FOR ALL: 63,191 sf

LANDSCAPING

SEE LANDSCAPING PLAN

SITE LIGHTING

CALCULATIONS BASED ON 2.65 ACRES @ 100,000 LUMENS PER ACRE
 265,000 LUMENS MAX. ALLOWED

ASSESSOR'S PARCEL NUMBER

406-42-013K

COTTONWOOD ZONING CLASSIFICATION

R-3

BELLA INVESTMENT GROUP

2409 N. FOURTH ST. #201
 FLAGSTAFF, AZ 86004
 (928)714-1800

SQUARE FOOTAGE

GROSS SQUARE FOOTAGE OF PARCEL: 115,43 SF

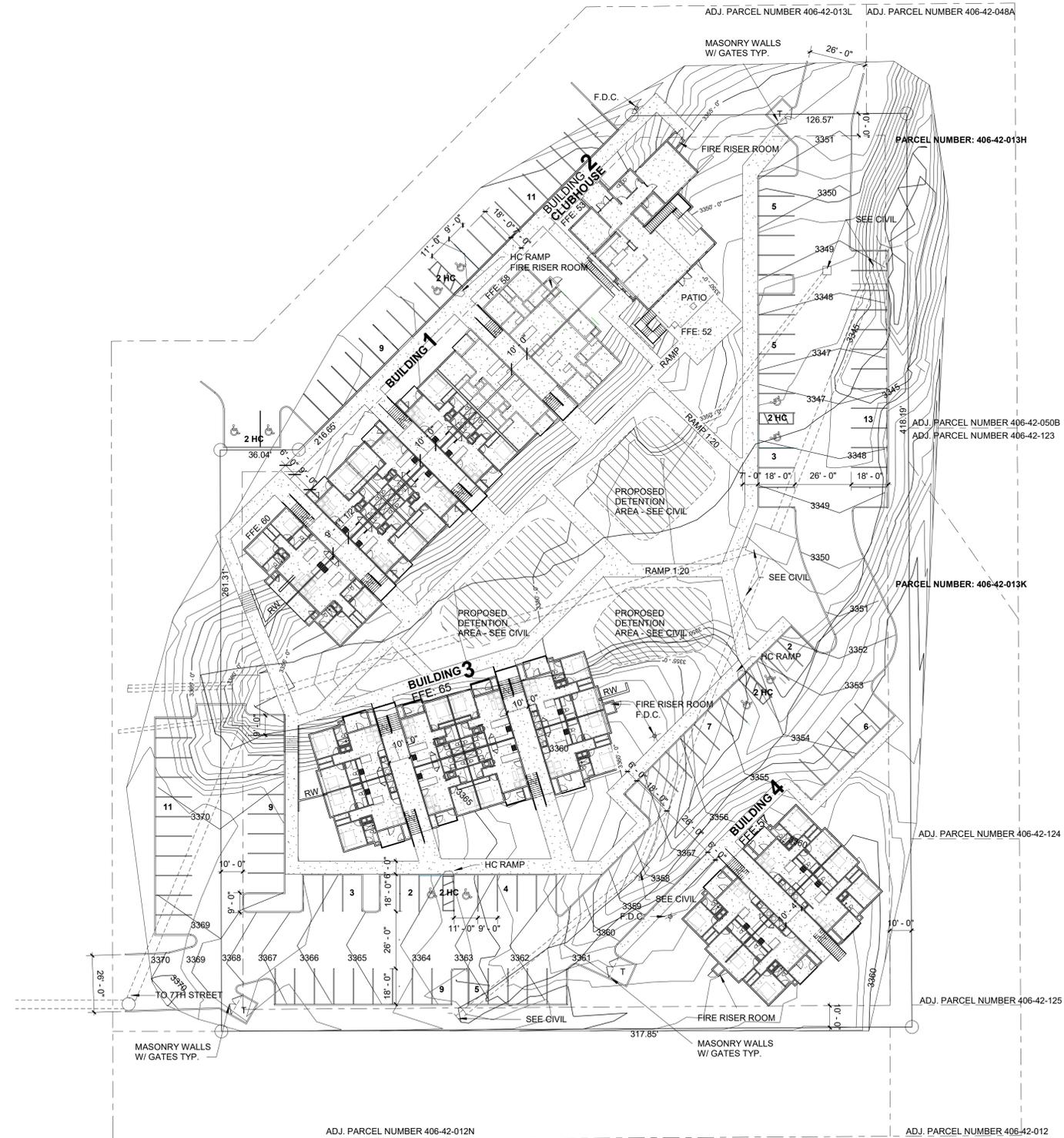
SQUARE FOOTAGE OF PROPOSED BUILDINGS: 63,191 SF

PERCENTAGE OF PARCEL COVERED BY BUILDINGS: 22%

PERCENTAGE OF PARCEL COVERED BY PARKING/
 DRIVEWAYS/ SIDEWALKS/ PATHWAYS: SEE CIVIL

REQUIRED PERCENTAGE OF PARCEL TO BE LANDSCAPED: 100% OF NON
 BUILDING AND
 HARDSCAPE- SEE
 LANDSCAPE PLAN

MAXIMUM LUMEN ALLOWANCE IN LIGHTING FIXTURES: 265,000 LUMENS
 (MAX. 100,000 PER
 ACRE)



1 SITE PLAN
 1" = 30'-0"



MT. VIEW VILLAS
BELLA INVESTMENT GROUP
 740 E. MINGUS AVE COTTONWOOD, AZ



REECE and ROWE
ARCHITECTS

4343 E. Avalon Drive
 Phoenix, Arizona 85018
 Phone: 602-957-4343
 Fax: 602-957-7546

1254 W. University Ave #100
 Flagstaff, Arizona 86001
 Phone: 928-779-4340
 Fax: 928-779-5087

REVISIONS:

TITLE: SITE PLAN
 SCALE: As indicated
 DATE: 11/14/2019
 JOB NO: 18409

A100



LANDSCAPE LEGEND

MATERIAL SELECTED IS DROUGHT TOLERANT

TREES	NAME AND SIZE	QUANTITY
	EXISTING TREE - TO REMAIN	56
	EXISTING NATRUE LANDSCAPE TO REMAIN	
	HONEY LOCUST GLEDITSIA TRICANTHOS 15 GAL	20
	DESERT WILLOW CHILOPSIS LINEARIS 15 GAL	9
	ARIZONA ASH FRAXINUS VELITINA 15 GAL	7
	VELVET MESQUITE PROSOPIS VELITINA 15 GAL	5
	FLOWERING PLUM PRUNUS VARIETIES 24" BOX (ADAPTIVE DECO TREE)	4
	TOTAL NO. TREES	101

SHRUBS	NAME AND SIZE	QUANTITY
	ROSEMARY (TRAILING) ROSEMARINUS PROSTRATA 1 GAL	57
	RED YUCCA HESPERALDE PARVI FLORA 5 GAL	8
	DESERT SAGE SALVIA COLUMBARIAE 1 GAL	20
	BUTTERFLY BUSH BUDDERIA ALTERNIFLORA 1 GAL	17
	COTONEASTER COTONEASTER DIVARICATA 1 GAL	42
	AUTUMN SAGE SALVIA GREGGI 1 GAL	8
	DEER GRASS MUHLENBERGIA RIGENS 1 GAL	7
	TOTAL NO. SHRUBS:	165

ADDITIONAL LANDSCAPE MATERIAL		
	BOULDERS (SIZE IN FT. AS NOTED)	6
	TURF (SOD)	AS INDICATED
	DECOMPOSED GRANITE 3/4" MINUS DESERT GOLD	ALL DEVELOPED AREAS
	METAL EDGE	AS INDICATED
	RIVER RUN 3" - 5"	AS INDICATED

LANDSCAPE NOTES

BUILDING LANDSCAPE: 1 TREE/ 50LF EXTERIOR WALL
 PROPERTY LINE LANDSCAPE: 1 TREE/ 25 LF PROPERTY LINE LENGTH
 3 SHRUBS/ 25 LF PROPERTY LINE LENGTH
 BLDG. LIN. FT: 1650 LF / 50 = 33 TREES REQ: 40 PROVIDED
 PROP. LINE LENGTH: 1377 LF / 25 = 55 TREES REQ: 61 PROVIDED
 110 SHRUBS REQ: 165 PROVIDED
 ALL REQUIRED LANDSCAPING TO CONFORM TO COTTONWOOD REQUIREMENT PER ORD. SECTION 407.

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MT. VIEW VILLAS
BELLA INVESTMENT GROUP
 740 E. MINGUS AVE COTTONWOOD, AZ



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RR
 ARCHITECTS

4343 E. Avalon Drive
 Phoenix, Arizona 85018
 Phone: 602-957-4343
 Fax: 602-957-7546

1254 W. University Ave #100
 Flagstaff, Arizona 86001
 Phone: 928-779-4340
 Fax: 928-779-5087

REVISIONS:

TITLE: LANDSCAPE PLAN
 SCALE: As indicated
 DATE: 11/14/2019
 JOB NO: 18409

A101

LIGHTING LEGEND							
SYMBOL	FIXTURE	MANUF / MANUF #	WATTS	LUMENS	TOTAL NO. OF FIXTURES	TOTAL NO. OF LUMENS	NOTES
	A	LIGMAN UMS-90281	39W	4872 AMBER LED	12	58,464	12'-0" POLE WITH 3'-0" x 1'-6" DIA. CONCRETE BASE
	B	PRESCOLITE LITEFORMS 1152	10W	950 AMBER LED	20	19,000	WALL BRACKET
	C	LIGMAN ULI-10021	29W	3169 AMBER LED	18	57,042	
	D	LIGMAN ULB-40436	4W	39 AMBER LED	8	312	

ALL AMBER LED FIXTURES ARE TURTLE FRIENDLY
 ALL AMBER LAMPS FALL BETWEEN 585 - 595 nm

TOTAL LUMENS PROVIDED: 134,818
 TOTAL LUMENS ALLOWED: 265,000

CALCULATIONS BASED ON 2.65 ACRES AT 100,000 LUMENS PER ACRE
 265,000 LUMENS MAXIMUM ALLOWED



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MOUNTAIN VIEW VILLA II
JIM MOYER
 740 E. MINGUS AVE
 COTTONWOOD, ARIZONA



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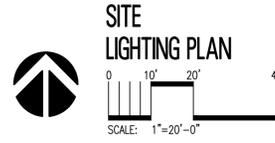
4343 E. Avalon Drive
 Phoenix, Arizona 85018
 Phone: 602-957-4343
 Fax: 602-957-7546

1254 W. University Ave #100
 Flagstaff, Arizona 86001
 Phone: 928-779-4340
 Fax: 928-779-5087

REVISIONS:

SITE
 TITLE: LIGHTING PLAN
 SCALE: 1"=20'-0"
 DATE: 05 FEB 2020
 JOB NO: RAR18409

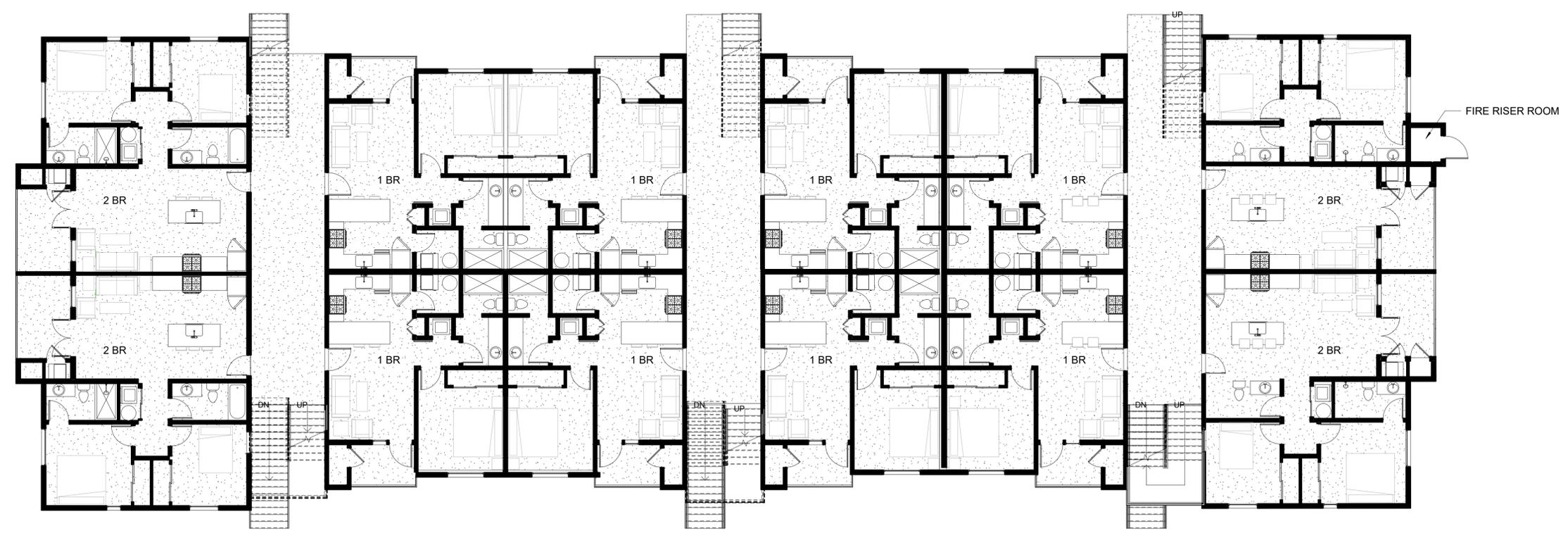
A102



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MT. VIEW VILLAS - BLDG #1

JIM MOYER
740 E. MINGUS AVE COTTONWOOD, AZ



② GROUND LEVEL
1/8" = 1'-0"



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4343 E. Avalon Drive
Phoenix, Arizona 85018
Phone: 602-957-4343
Fax: 602-957-7546

1254 W. University Ave #100
Flagstaff, Arizona 86001
Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS:

TITLE: FLOOR PLAN
LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A200

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 740 E. MINGUS AVE COTTONWOOD, AZ



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 Phoenix, Arizona 85018
 Phone: 602-957-4343
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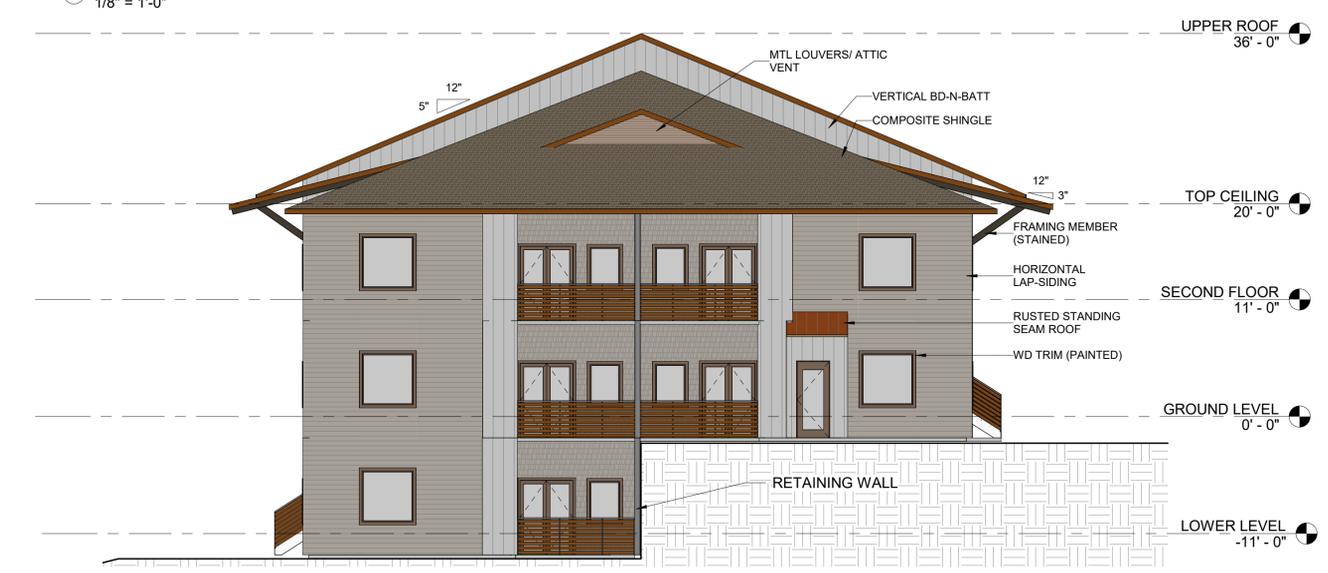
REVISIONS:

TITLE: EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: 2020-02-06
 JOB NO: 18409

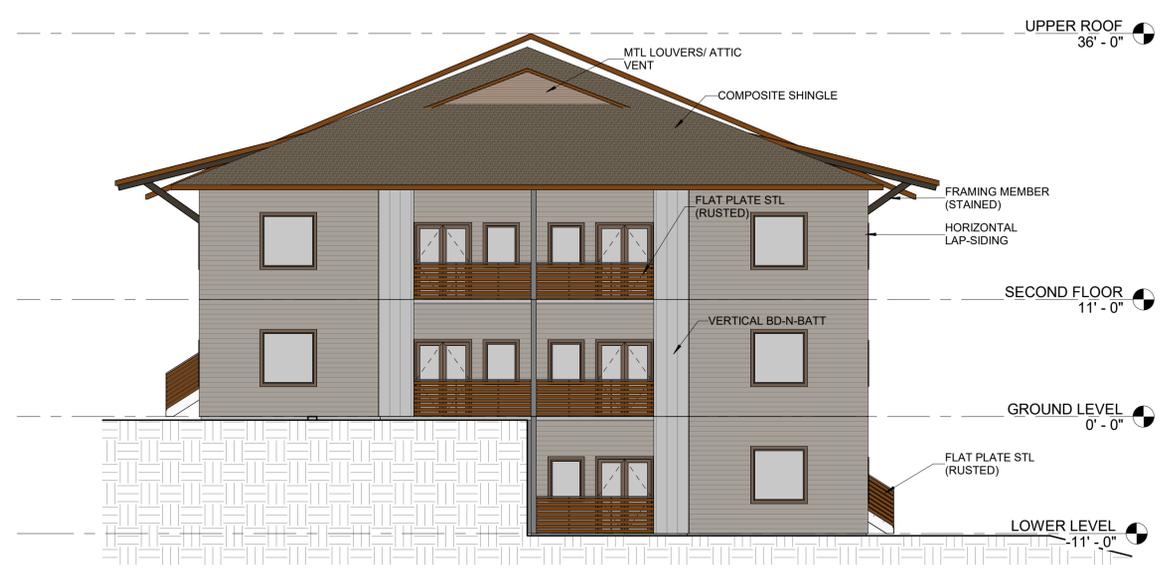
A400



01 NORTH
 1/8" = 1'-0"



02 EAST
 1/8" = 1'-0"



03 WEST
 1/8" = 1'-0"



04 SOUTH
 1/8" = 1'-0"

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MT. VIEW VILLAS - BLDG #3

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740 E. MINGUS AVE COTTONWOOD, AZ



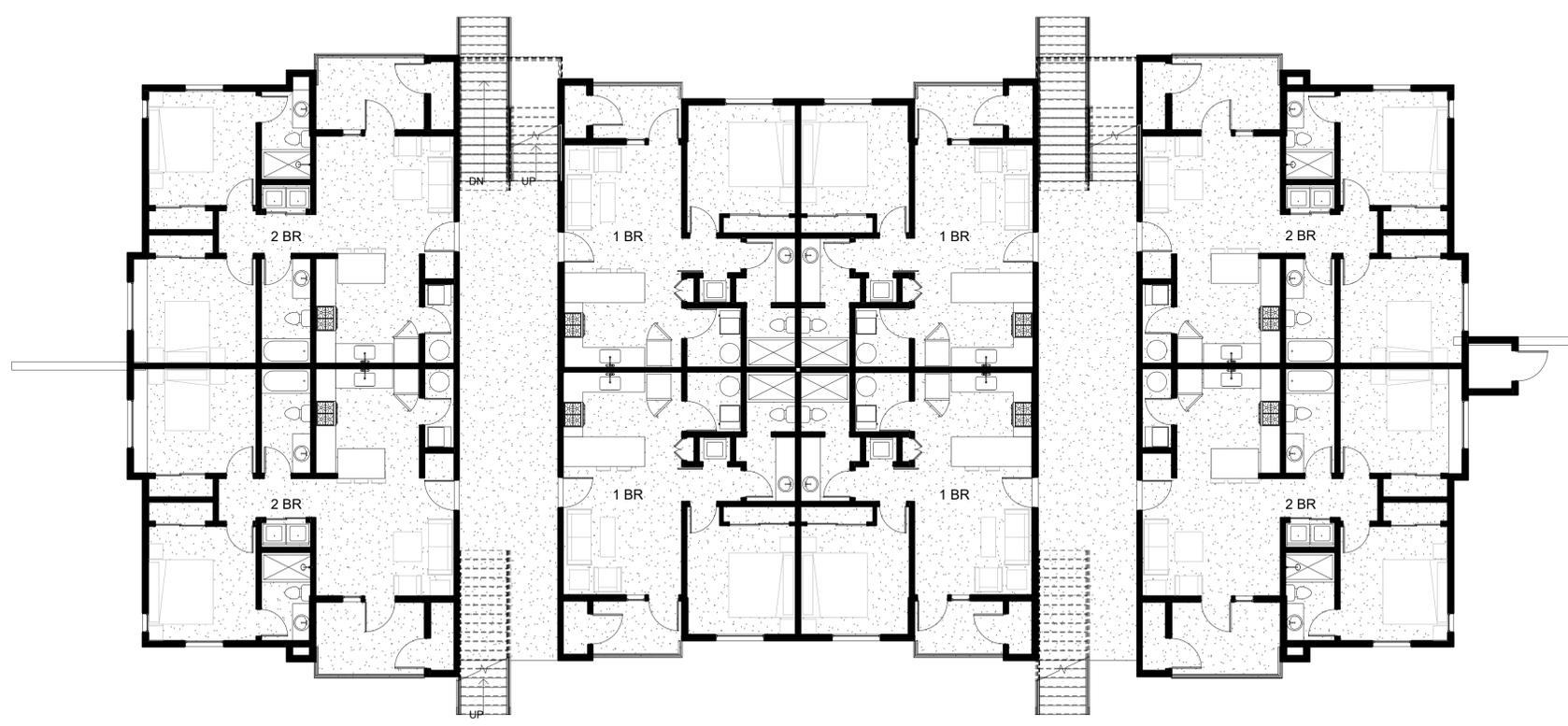
4343 E. Avalon Drive
Phoenix, Arizona 85018
Phone: 602-957-4343
Fax: 602-957-7546

1254 W. University Ave #100
Flagstaff, Arizona 86001
Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS:

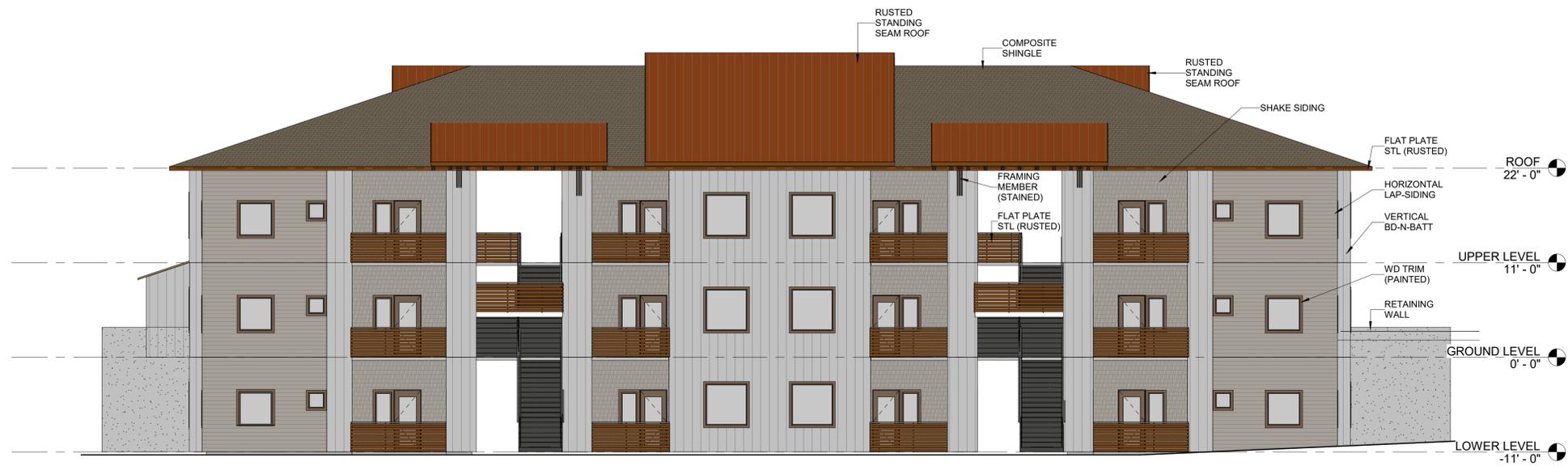
TITLE: FLOOR PLAN
LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A200

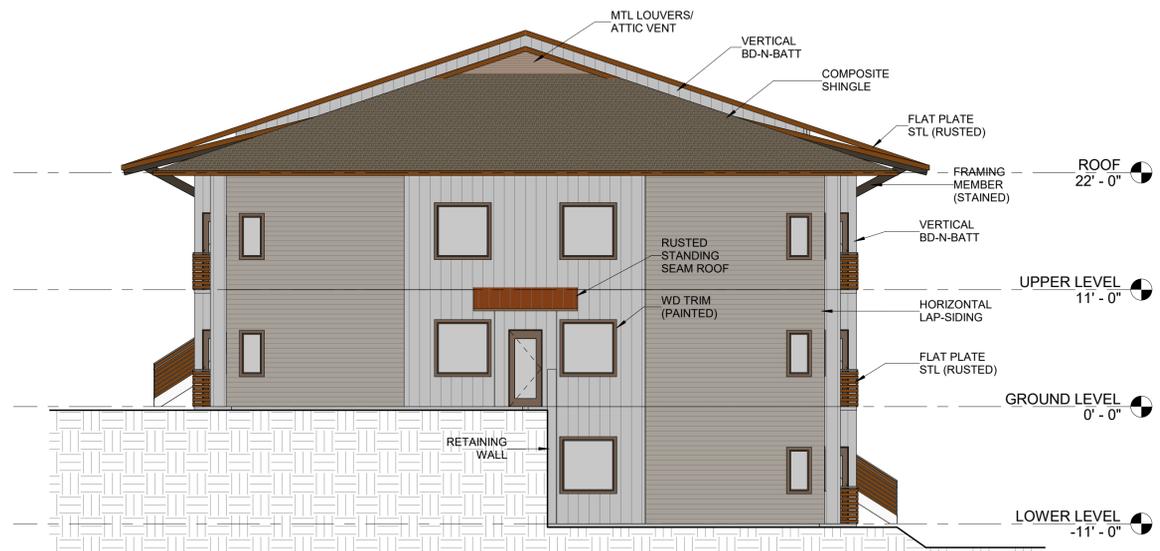


② GROUND LEVEL
1/8" = 1'-0"

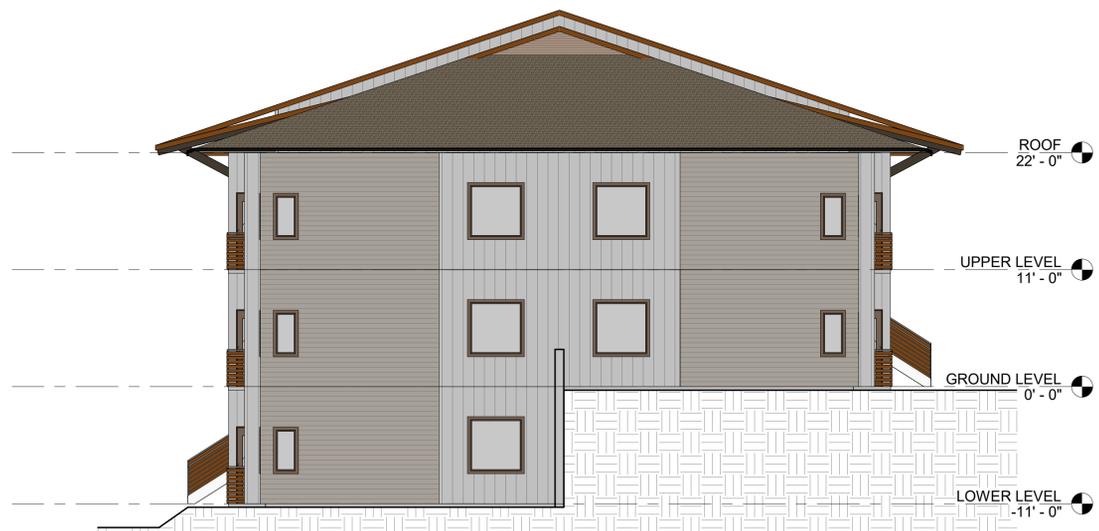
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01 NORTH
1/8" = 1'-0"



02 EAST
1/8" = 1'-0"



03 WEST
1/8" = 1'-0"



04 SOUTH
1/8" = 1'-0"

MT. VIEW VILLAS - BLDG #3
JIM MOYER
740 E. MINGUS AVE COTTONWOOD, AZ



REECE and ROWE
RR
ARCHITECTS

4343 E. Avalon Drive
Phoenix, Arizona 85018
Phone: 602-957-4343
Fax: 602-957-7546

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Fax: 928-779-5087

REVISIONS:

TITLE: EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A400

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MT. VIEW VILLAS - BLDG #4

JIM MOYER

740 E. MINGUS AVE COTTONWOOD, AZ



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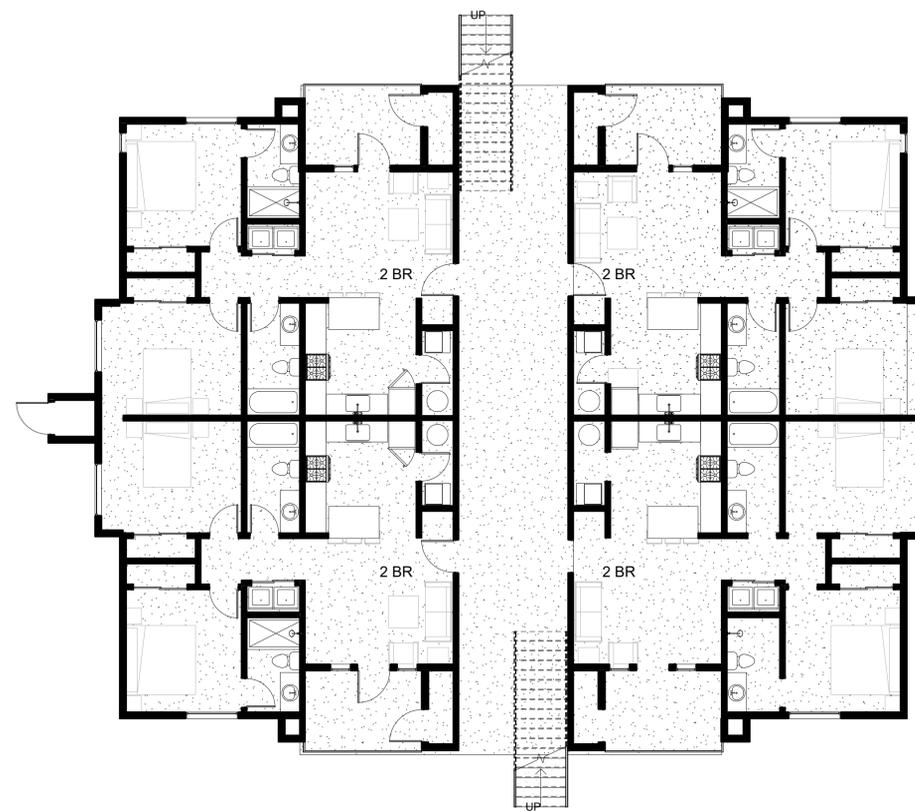
4343 E. Avalon Drive
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Fax: 602-957-7546

1254 W. University Ave #100
Flagstaff, Arizona 86001
Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS: _____

TITLE: FLOOR PLAN
LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 2020-02-06
JOB NO: 18409

A200



① GROUND FLOOR
1/8" = 1'-0"

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JIM MOYER
 740 E. MINGUS AVE COTTONWOOD, AZ



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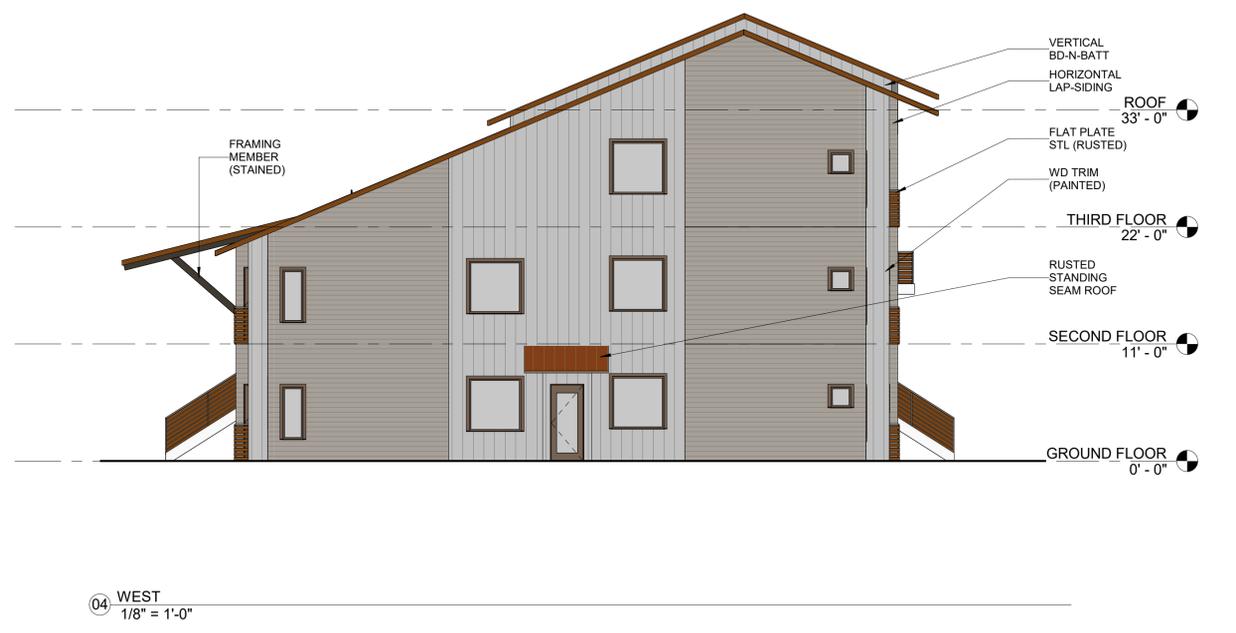
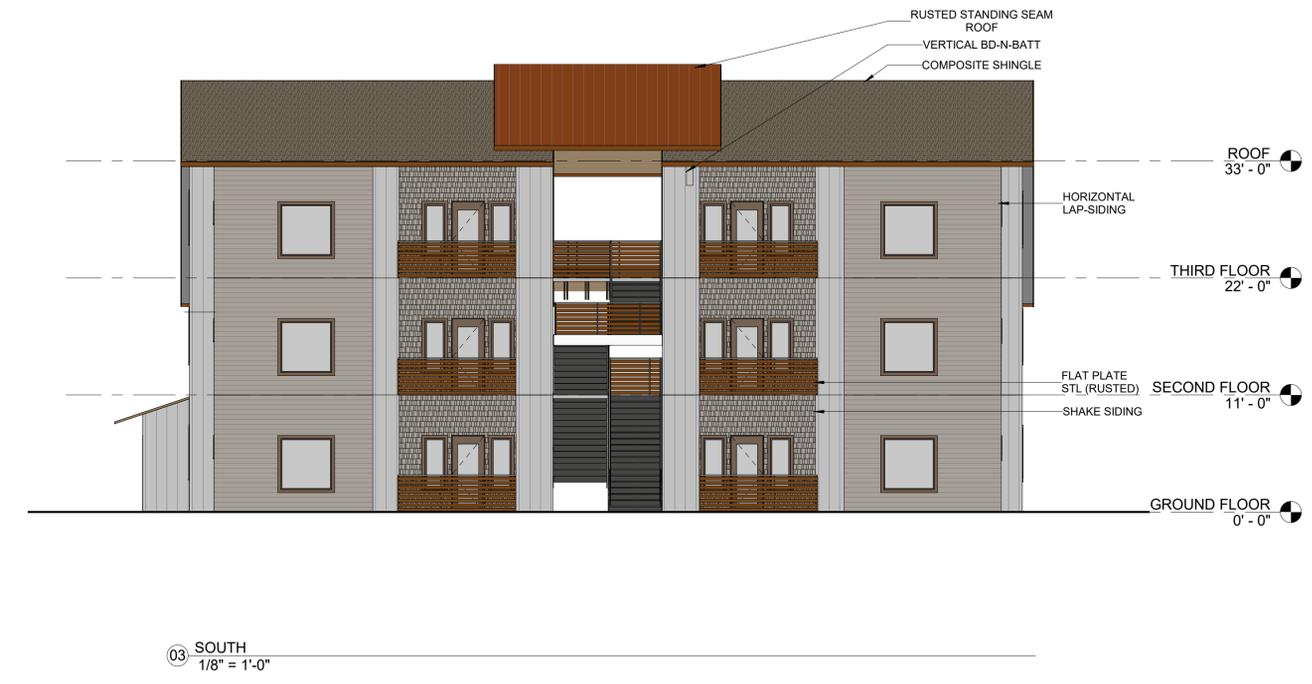
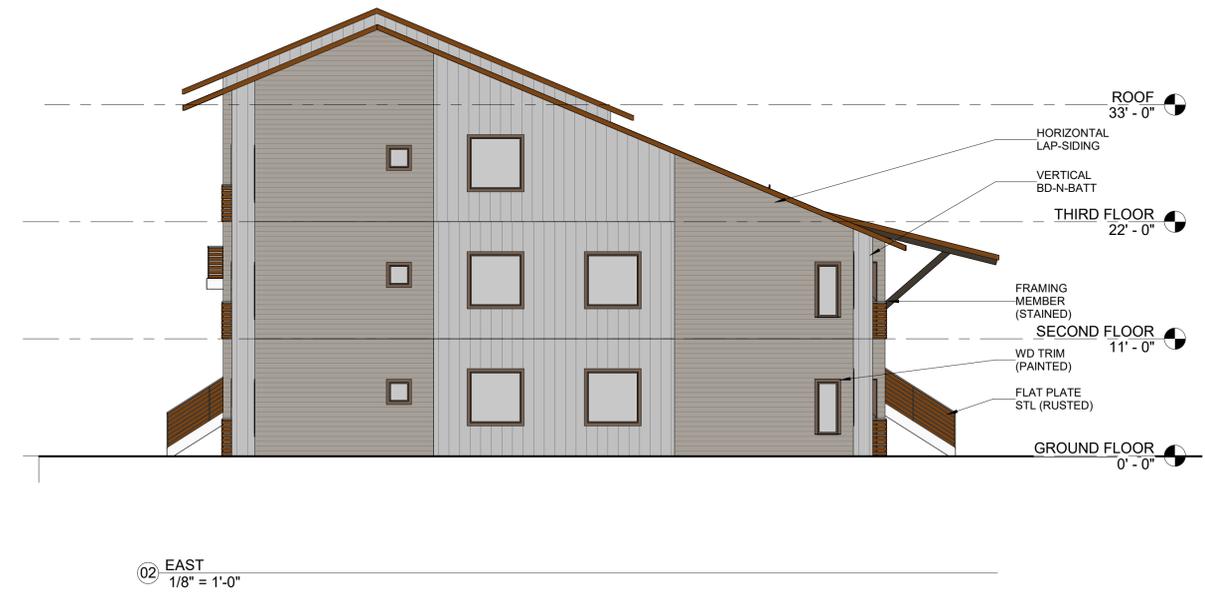
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 Fax: 602-957-7546

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 Flagstaff, Arizona 86001
 Phone: 928-779-4340
 Fax: 928-779-5087

REVISIONS:

TITLE: EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: 2020-02-06
 JOB NO: 18409

A400



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MT. VIEW VILLA CLUBHOUSE

JIM MOYER
740 E. MINGUS AVE COTTONWOOD, AZ



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ARCHITECTS

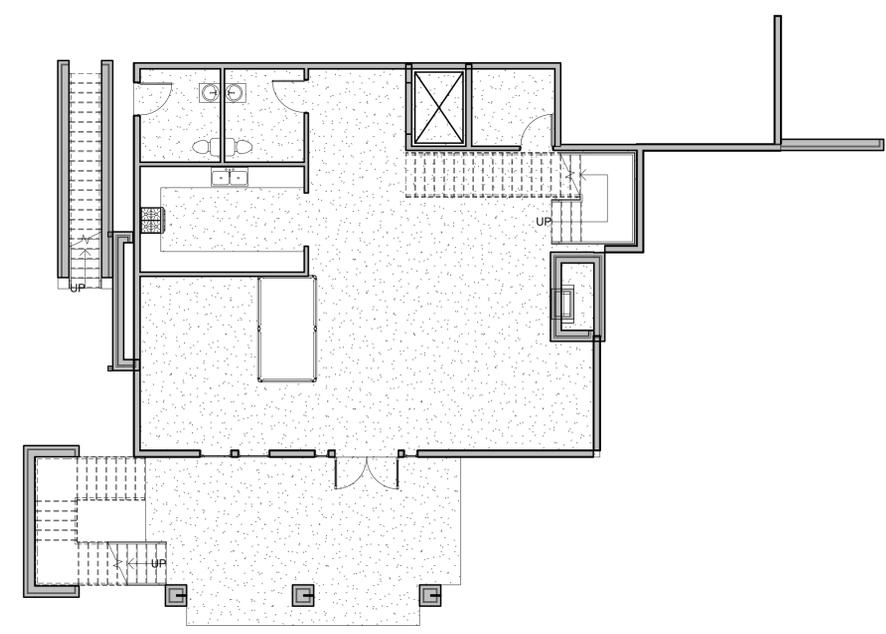
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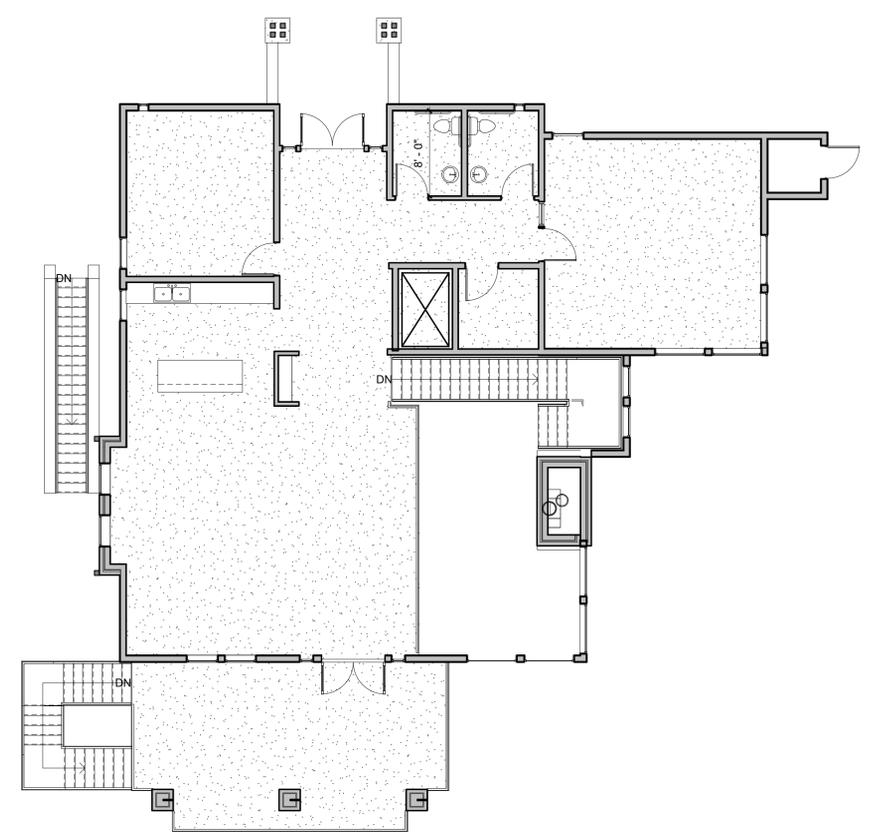
REVISIONS:

TITLE: FLOOR PLAN
LEVEL: LEVEL 1
SCALE: 1/8" = 1'-0"
DATE: 02/06/2020
JOB NO: 18409

A200



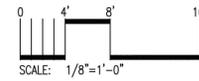
① FIRST FLOOR
1/8" = 1'-0"



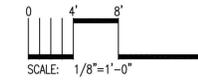
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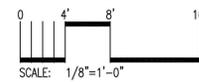
WEST ELEVATION



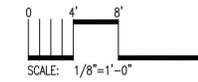
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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MOUNTAIN VIEW VILLAS II CLUBHOUSE

JIM MOYER
740 EAST MINGUS AVENUE
COTTONWOOD, ARIZONA 86326



REECE and ROWE
RR
ARCHITECTS

4343 E. Avalon Drive
Phoenix, Arizona 85018
Phone: 602-957-4343
Fax: 602-957-7546

1254 W. University Ave #100
Flagstaff, Arizona 86001
Phone: 928-779-4340
Fax: 928-779-5087

REVISIONS: _____

EXTERIOR
TITLE: ELEVATIONS
SCALE: 1/8"=1'-0"
DATE: 06 FEB 2020
JOB NO: RAR18409

A3.0

ALTA / NSPS LAND TITLE SURVEY AND TOPOGRAPHY

LOCATED IN A PORTION OF THE NORTHWEST 1/4 OF SECTION 34,
T.16N., R.3E., G. & S.R.M., YAVAPAI COUNTY, ARIZONA.
ASSESSOR PARCELS 406-42-013H AND 406-42-013K
CITY OF COTTONWOOD

CONTROL DATA

ARIZONA STATE PLANE COORDINATE SYSTEM,
CENTRAL ZONE COORDINATES
GRID NORTH: 1360222.8700 U.S. SURVEY FEET
GRID EAST: 670196.3200 U.S. SURVEY FEET

NAD 83:
LATITUDE: 34°44'19.42748"(N)
LONGITUDE: 112°00'57.12715"(W)

SOURCE DATA FOR THESE COORDINATES IS BASED
ON OPUS (ONLINE POSITIONING USER SERVICE)
CALCULATIONS WITH A SCALE FACTOR OF
0.99974421, RECEIVED FROM OPUS
SEPTEMBER 09, 2016.

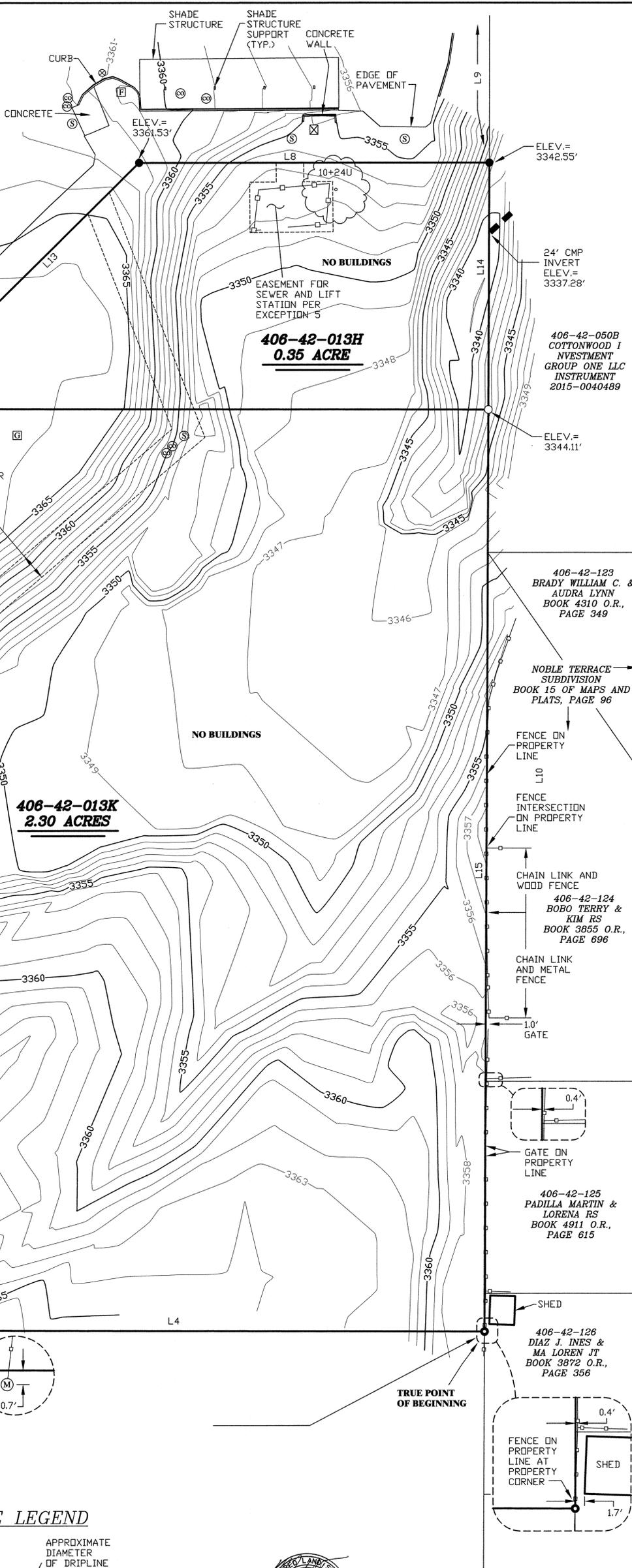
ELEVATION: 3362.39'
[NAVD88 (Computed using GEOID12B)]

406-42-013L
MOUNTAIN VIEW VILLA PARTNERS LLC
BOOK 4371 O.R., PAGE 916

ELEV.= 3369.81'
ELEV.= 3369.26'
ELEV.= 3366.76'
ELEV.= 3366.72'
ELEV.= 3365.59'

DRAINAGE EASEMENT
PER EXCEPTION 5,
SEE NOTE 1
THIS SHEET

406-42-012N
COTTONWOOD CHRISTIAN ASSEMBLY INC
BOOK / PAGE NOT AVAILABLE



LEGEND

- (M) INDICATES METAL POST
- (D) INDICATES DOG REFUSE DISPOSAL STATION
- (F) INDICATES FIRE HYDRANT
- (T) INDICATES TELEPHONE / CABLE RISER
- (W) INDICATES WATER VALVE
- (I) INDICATES IRRIGATION CONTROL VALVE
- (H) INDICATES FIRE HYDRANT
- (S) INDICATES SEWER MANHOLE
- (C) INDICATES CLEANOUT
- (E) INDICATES ELECTRIC PAD / BOX / VAULT
- (O) INDICATES ELECTRIC OUTLET
- (V) INDICATES 2" VALVE IN METAL CONE
- (---) INDICATES CHAIN LINK FENCE, UNLESS OTHERWISE NOTED
- (---) INDICATES CMP
- (---) INDICATES PAVERS
- (---) INDICATES SIDEWALK
- (A) POINT 'A'
18' CMP INVERT
ELEV.= 3356.68'
- (B) POINT 'B'
18' CMP INVERT
ELEV.= 3356.25'
- (C) POINT 'C'
18' CMP INVERT
ELEV.= 3355.59'

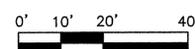
TREE LEGEND

- DIAMETER AT BREAST HEIGHT (INCHES)
- CENTER OF TREE
- APPROXIMATE DIAMETER OF DRIPLINE (FEET)
- SPECIES, PINE (P), UNKNOWN (U)

NOTE 1:

THE EXCEPTION 5 DOCUMENT CITES ONLY A WIDTH OF 10' FOR THIS DRAINAGE EASEMENT; NO LENGTH IS CITED. THE LENGTH SHOWN HEREON IS A RESULT OF SCALING THE LINE WORK OF THE EXHIBIT OF THE DOCUMENT.

CONTOUR INTERVAL = 1'
SCALE: 1" = 20'



06-30-2019
EXPIRES

DAYSPRING DEVELOPMENT

ALTA / NSPS
LAND TITLE SURVEY
SECTION 34, T.16N., R.3E.

SEC Inc.
825 COVE PARKWAY, SUITE A
COTTONWOOD, ARIZONA 86326
(928) 634-5889
www.sec-landmgt.com

DATE 07/20/18	DRAWN B.L.S.	SHEET 3 OF 3
SCALE 1" = 20'	CHECKED M.J.F.	18-0314CE Dayspring Development\mtrview VillaApartments\ALTA.dwg

SEE SHEET 1 FOR LEGAL DESCRIPTION, SURVEYOR'S NOTES / CERTIFICATION, AND SCHEDULE B ITEMS.
SEE SHEET 2 FOR SECTION BREAKDOWN AND BOUNDARY INFORMATION.
SEE SHEET 3 FOR FEATURES AND EASEMENTS.

DISCLAIMER: These plans/documents have been prepared using technical knowledge and skills that would be applied by other qualified registrants who practice the same profession in the same area and at the same time. Efforts have been made to be as accurate as possible. However, plans/documents could contain unintentional technical inaccuracies, typographical errors or omissions. Users of these plans/documents should understand that it is highly probable that errors and omissions will occur in any plan/document preparation process.

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LED Replacement Lamps

← LED Interior & Decorative Lamps 9.5 Watt A-19 LED Household Bulb



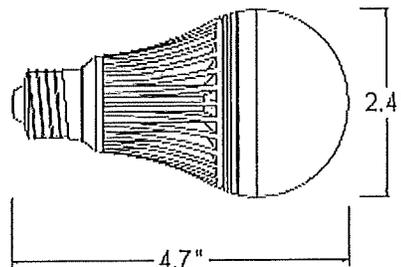
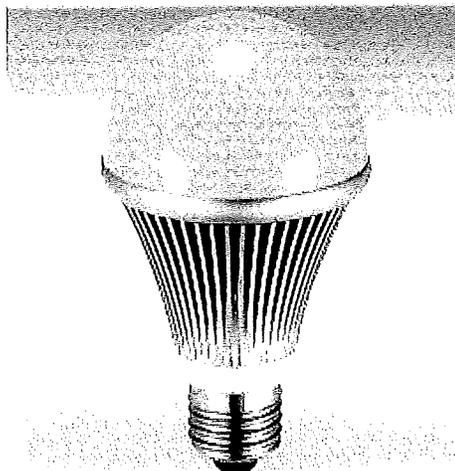
Daylight White	Natural White	Warm White	Amber
LTLED-A19-10A-D Eco-\$mart Price: Quoted	LTLED-A19-10A-N Eco-\$mart Price: Quoted	LTLED-A19-10A-W Eco-\$mart Price: Quoted	LTLED-A19-10A-Amber Eco-\$mart Price: Quoted
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Description: Fully encapsulated, 120 Volt, 9.5 Watt, A19 medium base LED interior light bulb replaces a 60W incandescent bulb. Saving real energy over a longer life is just the beginning. These bulbs are returnable, reducing landfill and pollution.

- Long lifespan, over 50,000 hours. Little to no maintenance for 7 years.
- Dimmable.
- Low electricity consumption. Save 70 - 80% electric energy over incandescent lamps.
- Safe low heat light.
- Environment friendly, no UV and infrared, no hazardous substance.
- Vibration-resistant, easy for transportation.

Applications: The Eco-\$mart A-19 9.5 Watt LED Household Bulb is dimmable, with wide application and is very suitable for low light areas and decorative lighting in:

♦ House Lights ♦ Offices ♦ Clubs ♦ Stores ♦ Hotels ♦ Restaurants ♦ Gyms ♦ Airports ♦ Office Buildings ♦ Factories



Technical Specifications:

Item: LTLED-A19-10A	Dimming: Dimmable	Power: 9.5 Watts
Base: E27, E26, GU10, B22	Dimensions: 2.4" x 4.7"	Beam Angle: 120°
LEDs: Samsung LEDs	Input voltage: 120-240VAC	
Color	Color Temperature	Lumens
Warm White	2600-3500K	600 Lumens
Natural White	4000-4500K	650 Lumens
Daylight White	5800-6300K	690 Lumens

Amber Turtle-friendly Lamp (588 NM)



Submitted for FFWCC Approval

Item: LTLED-A19-10A-Amber

Dimming: Non-Dimmable

Power: 9 Watts

Base: Medium

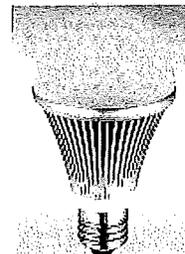
Dimensions: 2.4" x 4.7"

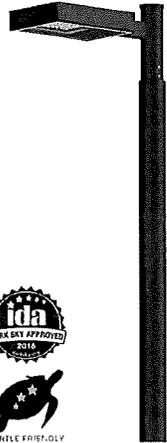
Beam Angle: 120°

LEDs: Samsung LEDs

Input voltage: 90-130VAC

Lumens: 590 LM





38w LED
4872 Lumens

IP54
Suitable for wet locations

IK07
Impact Resistant (Vandal Resistant)

EPA - 1.81

Weight 29.7 lbs

POLE NOT INCLUDED



Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B3 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

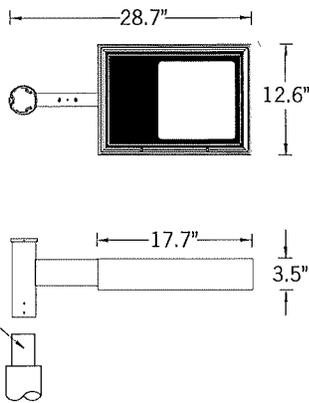
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Rectangular, adjustable area-lighting column fixture family. Timeless angular form factor with a multitude of output choices to suit all area applications.

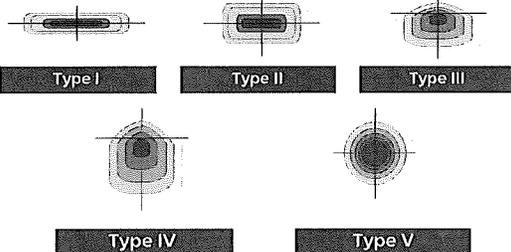
A slim pole mount area light with a variety of different distributions to suit all lighting designer's requirements. The Mustang can be utilized to suit specific light patterns using the asymmetrical type II, III, IV and symmetrical lens optics, as well as variations of these for precise light distribution requirements. An example of this is using a combination of Type II & Type IV distribution optics inside the same fixture.

This luminaire is suitable for most applications and complies to dark sky requirements. Designed for lighting private roadways, car parks, exhibition areas, service stations and truck stops. Internal house side shields are available as an option. This luminaire is provided prewired with power cord to the handhole to simplify installation.

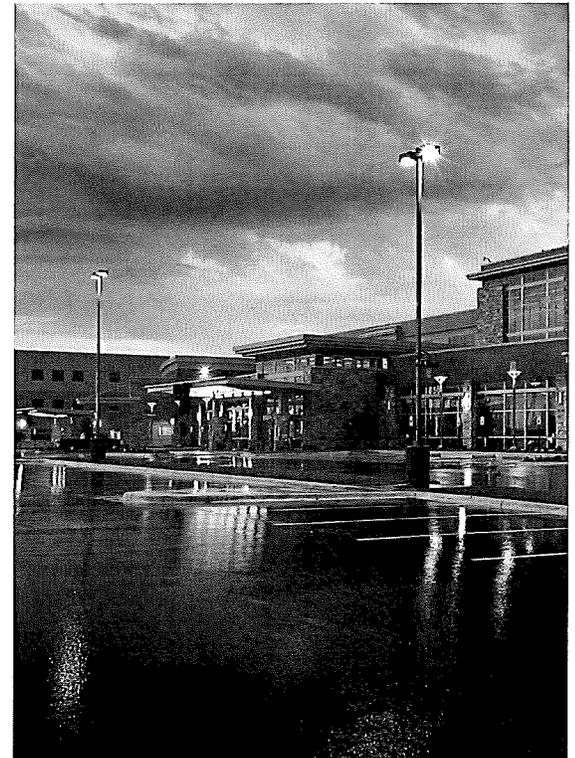
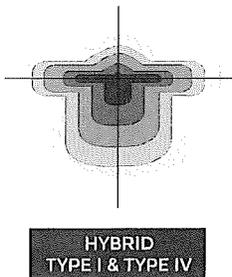
Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting controls to integrate with building management systems, as well as integrated occupancy sensors [contact the factory for more information] Easy access to the luminaire for maintenance.



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



UMS-90281

Mustang 40 Single Head Streetlight



PROJECT		DATE	
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QUANTITY		TYPE	*	NOTE	
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ORDERING EXAMPLE || UMS - 90281 - 38w - T2 - W30 - 02 - 120/277v - Options

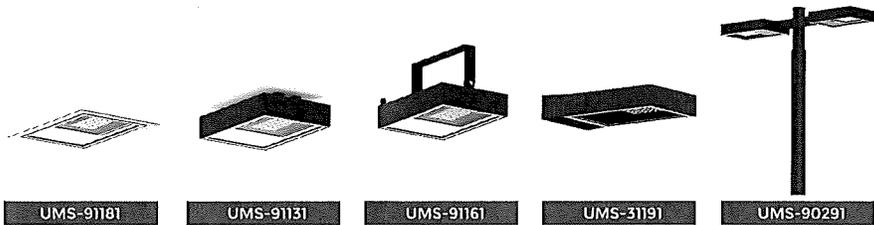
UMS-90281					
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
38w LED 4872 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution M - Medium 30° W - Wide 52° VW - Very Wide 64° EW - Extra Wide 108°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- | | |
|-------------------------|---------------------------------|
| DIM - 0-10v Dimming | HSS - House Side Shield |
| NAT - Natatorium Rated | AMB - Turtle Friendly Amber LED |
| F - Frosted Lens | OS - Occupancy Sensor |
| HSS - House Side Shield | |

Mustang Product Family



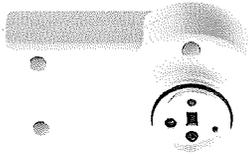
UMS-91181	UMS-91131	UMS-91161	UMS-31191	UMS-90291
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HIGH/LOW/OFF PIR OUTDOOR PHOTO/MOTION SENSOR IP66 - **legrand** Integrated photocell

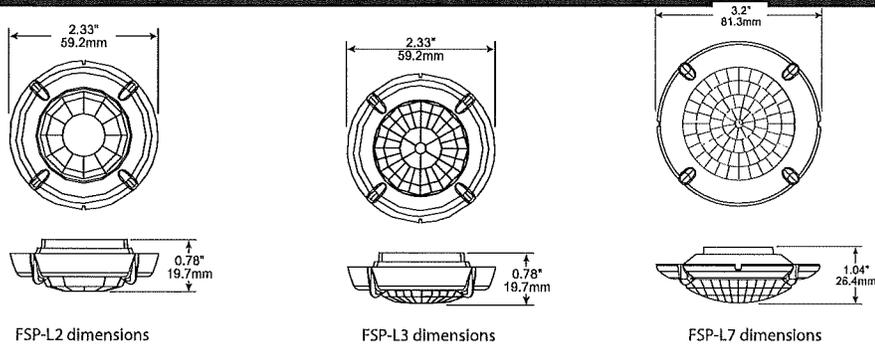


Ligman provides integrated photocell control using the wattstopper legrand FSP-211B. These units are installed inside the fixture housing with only the external lenses being visible



FSP-211B

Dimensions of Lens Options



Product Overview

The FSP-221B is a family of passive infrared (PIR) outdoor sensors that raise or lower the electric lighting level to high, low or off based on motion and/or daylight contribution. Typically, once the sensor stops detecting movement and the time delay elapses, lights will first fade to low mode, and eventually switch off. When motion is detected, the sensor ramps the light level to high mode unless the daylight contribution is sufficient.

The integral photocell can also switch the lights on and off for dusk to dawn control, so that lighting remains on overnight even without motion detection.

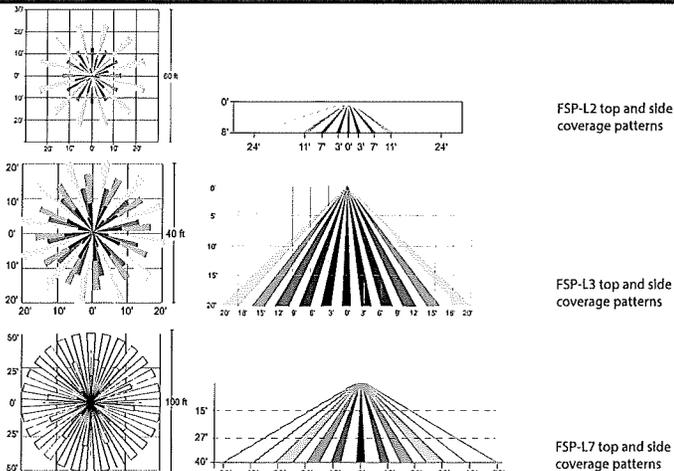
The sensors control 0-10VDC or nondimming LED drivers or ballasts.

The low voltage FSP-201B may be used with dim-to-off drivers or ballasts.

Initial setup and subsequent sensor adjustments are made using a Wireless Handheld Configuration Tool (FSIR-100). This tool enables adjustment of sensor parameters including high/low mode, sensitivity, time delay, cut off and more.

The FSIR-100 can read current parameter settings, and stores up to six sensor parameter profiles to speed commissioning of multiple sensors.

Coverage



Models

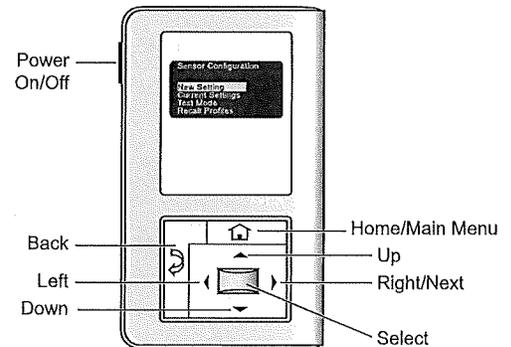
- FSP-211B, 120-277 VAC
- FSP-221B, 100-347 VAC

Specifications and Features

- Three interchangeable lenses for mounting between 8' and 40'
- Remote setup and adjustment with handheld wireless configuration tool
- Adjustable high and low modes (high: 0 to 10V, low: off, 0 to 9.8V)
- Adjustable time delay (30 seconds, 1 to 30 minutes)
- Adjustable cut off delay (none, 1 to 59 minutes, 1 to 5 hours)
- Adjustable sensitivity/service mode (low, med, max; on-fix, off-fix)
- Adjustable setpoints: hold off setpoint (none, 1 to 250 fc, auto); photocell on/off setpoint (1 to 250 fc)
- Adjustable ramp and fade times (1 to 60 seconds)
- Operating temperature: -40°F to +167°F (-40°C to +75°C)
- IP66 rated
- Five year warranty

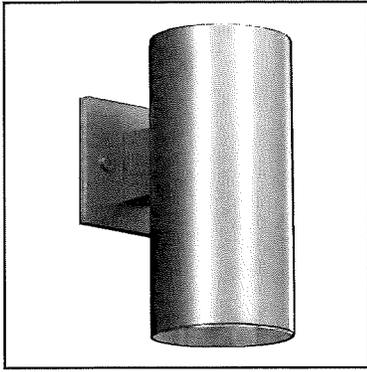
Factory Defaults

- High mode: 10V
- Low mode: 1V
- Time delay: 5 minutes
- Cut off: 1 hour
- Setpoint: Disabled
- Sensitivity: Max
- Ramp up time: Disabled
- Fade down time: Disabled
- Photocell On/Off: Disabled



The FSIR-100 is a convenient handheld remote tool for sensor setting. Adjustable settings can be changed as needed for specific applications.

Catalog #	Color	Description
FSP-L2	White/Grey/Black/Brown	360° lens, maximum coverage 48' diameter from 8' height
FSP-L3	White/Grey/Black/Brown	360° lens, maximum coverage 40' diameter from 20' height
FSP-L7	White/Grey/Black/Brown	360° lens, maximum coverage 100' diameter from 40' height
FSIR-100	Black	Remote Handheld Configuration Tool



5" Direct Wall Mount Cylinder

1152

One 75W BR30 or PAR30 Lamp
120V

DATE: _____ TYPE: **B**

FIRM NAME: _____

PROJECT: _____

LiteForms™

For conversion to millimeters,
multiply inches by 25.4
Not to Scale

APPLICATIONS:

The 1152 is a small-scale wall mount cylinder used to achieve direct illumination patterns on vertical walls or columns. The 1152 is suitable for a wide variety of commercial, retail and institutional applications.

HOUSING:

.052" thick seamless extruded aluminum cylinder with diecast aluminum canopy, arm and bracket. Interlocking parts ensure proper cylinder alignment. Durable powder coat paint finish. Specify: brushed aluminum, matte black, bronze, matte white or Prescolite's exclusive Zet, metallic silver.

REFLECTOR:

Specify painted black interior, one-piece milligroove black baffle, black cone, or clear Alzak reflector.

LAMP:

One (1) 75W PAR30 or BR30 lamp. Lamp furnished by others.

SOCKET:

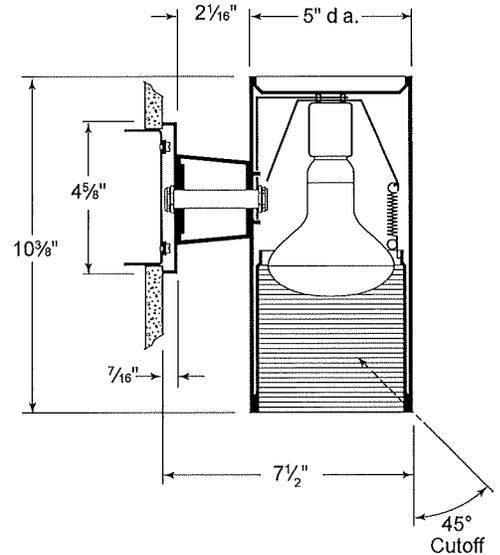
Porcelain socket with nickel plated screw shell.

INSTALLATION:

Easy installation onto standard J-box.

LABELS:

UL, CSA listed for wet locations



CATALOG NUMBER:

EXAMPLE: 1152-962BZ

HOUSINGS

FINISH OPTIONS

- 1152**
5" Direct wall mount cylinder with painted black interior. One 75W PAR30 or BR30
- 1152-910**
5" Direct wall mount cylinder with black milligroove baffle. One 75W PAR30 or BR30
- 1152-960**
5" Direct wall mount cylinder with black cone. One 75W PAR30 or BR30
- 1152-962**
5" Direct wall mount cylinder with clear Alzak reflector. One 75W PAR30 or BR30

- BA**
Brushed aluminum-
- BL**
Matte black
- BZ**
Bronze
- WH**
Matte White
- Z**
"Zet" metallic silver

Special Reflector Finishes:

Refer to specification sheet LFO-INC-037 for reflector capabilities



In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
Web: www.prescolite.com • Tech Support: (888) 777-4832

LFO-INC-005

Project Name:	Type:
Part Number:	Date:



GREENCREATIVE

VALUE SELECT PAR FAMILY

FEATURES

- Suitable to replace 50W, 75W, 120W halogen
- Smooth dimming with existing dimmers*
- Compact size 1:1 halogen form factor
- Narrow & flood beam angles
- Suitable for use in wet locations
- Operating temperature: -4°F / -20°C to +95°F / +35°C
- Rated Lifetime (L70): 25,000hrs
- 3 years limited warranty



SPECIFICATIONS

Product	Model	Equiv.	Wattage (W)	CCT	Lumens	Efficacy (LPW)	Input Voltage	Beam Angle	CBCP (cd)	GRI	Dim.*	Power Factor	Base	Fixture Rating	ES
34933	5.5PAR20DIM/830NF25/N	50W	5.5	3000K	525	95	120V	25°	1180	82	Yes	0.7	E26	Non-Enclosed	✓
34934	5.5PAR20DIM/830FL40/N	50W	5.5	3000K	525	95	120V	40°	595	82	Yes	0.7	E26	Non-Enclosed	✓
34935	5.5PAR20DIM/840NF25/N	50W	5.5	4000K	525	95	120V	25°	1180	82	Yes	0.7	E26	Non-Enclosed	✓
34936	5.5PAR20DIM/840FL40/N	50W	5.5	4000K	525	95	120V	40°	595	82	Yes	0.7	E26	Non-Enclosed	✓
34937	10PAR30DIM/830NF25/N	75W	10	3000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34938	10PAR30DIM/830FL40/N	75W	10	3000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34939	10PAR30DIM/840NF25/N	75W	10	4000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34940	10PAR30DIM/840FL40/N	75W	10	4000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34941	10PAR30SNDIM/830NF25/N	75W	10	3000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34942	10PAR30SNDIM/830FL40/N	75W	10	3000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34943	10PAR30SNDIM/840NF25/N	75W	10	4000K	950	95	120V	25°	2910	82	Yes	0.7	E26	Non-Enclosed	✓
34944	10PAR30SNDIM/840FL40/N	75W	10	4000K	950	95	120V	40°	1315	82	Yes	0.7	E26	Non-Enclosed	✓
34945	13.5PAR38DIM/830NF25/N	120W	13.5	3000K	1280	95	120V	25°	5385	82	Yes	0.7	E26	Non-Enclosed	✓
34946	12PAR38DIM/830FL40/N	120W	12	3000K	1150	95	120V	40°	2235	82	Yes	0.7	E26	Non-Enclosed	✓
34947	13.5PAR38DIM/840NF25/N	120W	13.5	4000K	1280	95	120V	25°	5385	82	Yes	0.7	E26	Non-Enclosed	✓
34948	12PAR38DIM/840FL40/N	120W	12	4000K	1150	95	120V	40°	2235	82	Yes	0.7	E26	Non-Enclosed	✓

* This lamp might not be compatible with all dimmers. Please visit www.greencreative.com for compatibility information.



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G1

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natoratoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Area distribution bollard-integrated projectors. Stylish but technically precise area lighting solutions as part of a large flexible family.

Light Linear PT Bollard is an elegant minimalistic bollard that is suitable for both modern and classic architecture. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LED's, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.

An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture.

This product range is available in 29w and 55w options, as single & double head styles.

Customer specific wattages can be provided, contact the factory for more information.

This luminaire complies to Dark Sky requirements.

Bollards can be provided with GFCI boxes positioned to specific heights specified by the customer.

Internal house side shields are available as an option.

Optional: Security Bollard:

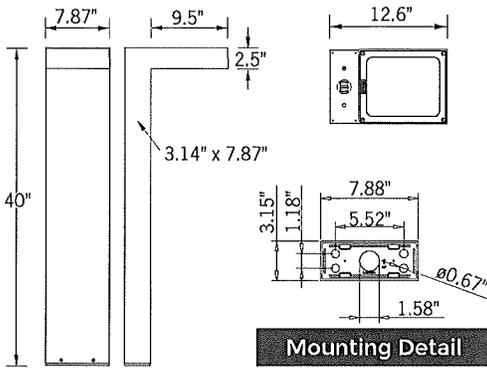
The Light Linear Bollard is available as a traffic rated security bollard.

This security bollard provides restraint of vehicular traffic in unauthorized areas.

Impact calculations shows this bollard will stop a 5,500lb/2.75 tons vehicle, travelling at 30mph.

The galvanized pole must be filled with concrete up to the waterproof driver housing to provide a solid concrete barrier.

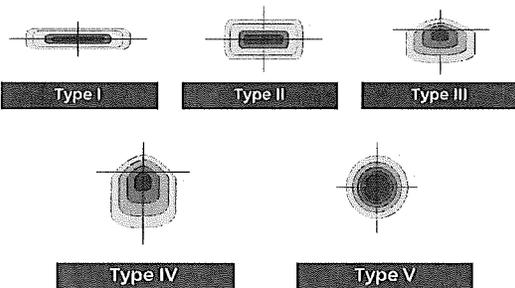
29w LED 3169 Lumens
IP65 • Suitable For Wet Locations
IK07 • Impact Resistant (Vandal Resistant)
Weight 24.6 lbs



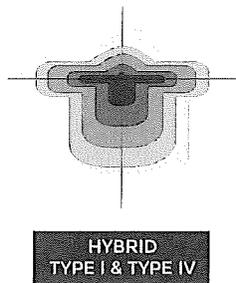
Mounting Detail



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.

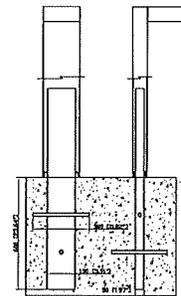


The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



HYBRID
TYPE I & TYPE IV

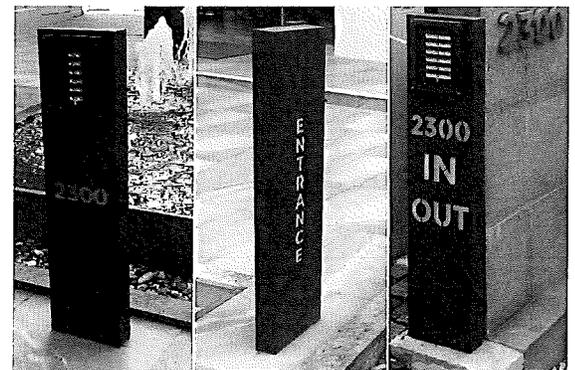
Additional Options (Consult Factory For Pricing)



SB
Security Bollard



GFCI
GFCI Box



RGBW or Static Color Laser Cut Lettering, Logos & Designs (LLVT Bollard shown for visual reference)

Ligman can provide custom logos and signage in the Light Linear Bollard
The Images above show this feature in the Light Linear VT Bollard

ULI-10021

Light Linear PT 1 Single Head Bollard



PROJECT	<input type="text"/>	DATE	<input type="text"/>
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QUANTITY	<input type="text"/>	TYPE	<input type="text" value="C"/>	NOTE	<input type="text"/>
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ORDERING EXAMPLE || ULI - 10021 - 29w - T2 - W30 - 02 - 120/277v - Options

ULI-10021	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	29w LED 3169 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

<input type="text"/>	<input type="text"/>	<input type="text"/>
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ADDITIONAL OPTIONS

- NAT - Natorium Rated
- F - Frosted Lens
- GFCI - GFCI Box
- DIM - 0-10v Dimming
- AMB - Turtle Friendly Amber LED
- HGT- Custom Bollard Height
- HSS - House Side Shield
- SB - Security Bollard
- EMG - Emergency Pack

<input type="text"/>

LASER CUT LETTERING (cannot be used in conjunction with security bollard)

- RGBW - Color Changing RGBW
- SC - Static Color (Choose Color e.g Red, Blue etc.)

WORDS FRONT	WORDS BACK
<input type="text"/>	<input type="text"/>

CONSULT FACTORY FOR CUSTOM DESIGNS, LOGOS AND OTHER SPECIAL REQUIREMENTS
FACTORY DRAWINGS WILL BE PROVIDED PRIOR TO PRODUCTION

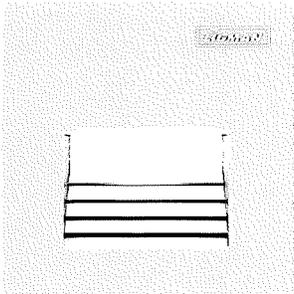
Light Linear Product Family



7144 NE Progress Court
Hillsboro, Oregon 97124
T: 503.645.0500 | F: 503.645.800

Ugman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.





Construction

Aluminum Casting

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

BUG Rating

B0 - U1 - G0

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Opal Borosilicate Glass Lens

Provided with opal borosilicate impact resistant glass.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Contemporary wayfinding fixture for glare free visual comfort. Sophisticated design, with minimal footprint and available with optional surrounds and supply solutions.

A range of square recessed wall luminaires, with an indirect optical system, offering high vandal resistance. Suitable for indoor or outdoor applications for use in shopping malls and pedestrian areas as a decorative wall guide light. Main characteristics are low glare and the limited maintenance concept.

The luminaires are a high quality SMD (LED's) source with low energy consumption and long service life 60,000 – 80,000 Hrs. Fixture is secured to the recessing box using a hidden screw that provides vandal resistant fixture installation.

A remote driver is provided as a standard for outdoor applications. Contractor to provide remote mount waterproof box. This fixture can be provided with a Ligman waterproof box, selected below in options. As an option, this product can be provided with an integrated driver in the galvanized recessing box, however this is for use in indoor/dry locations only. Galvanized recessing box supplied standard. Available in turtle friendly amber and white 2700K, 3000K, 3500K and 4000K.

Note : The LBX black and dark grey paint finish are not recommended due to low light output. This fixture is suitable for concrete pour applications.

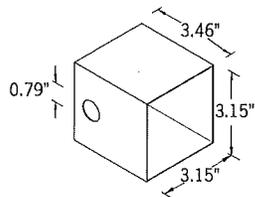
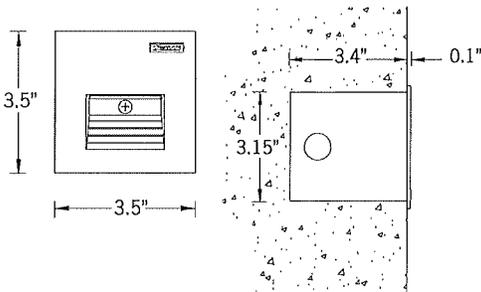
All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options.

4w LED 39 Lumens

IP65 • Suitable For Wet Locations

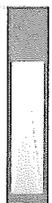
IK04 • Impact Resistant (Vandal Resistant)

Weight .66 lbs



Recessing Box

LBX Product Family



ULB-10842 [6.3"]



ULB-10851 [4"]



ULB-10861 [7.3"]

Additional Options (Consult Factory For Pricing)



A80191
3" x 10" Remote Enclosure Box



ULB-40436

LBX 1 Recessed

PROJECT		DATE	
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QUANTITY		TYPE	P	NOTE	
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ORDERING EXAMPLE || ULB-40436 - 4w - W30 - 02 - 120/277V

ULB-40436				
LAMP	LED COLOR	FINISH COLOR	VOLTAGE	
4w LED 39 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- NAT - Natatorlum Rated
- AM - Turtle Friendly Amber LED
- A80191 - Remote Enclosure Box [Required for Wet Locations]
- ID - Integrated Driver [Indoor Dry Location Only]

LIGHTING LEGEND

SYMBOL	FIGURE	MANUF / MANUF #	WATTS	LUMENS	TOTAL NO. OF FIXTURES	TOTAL NO. OF LUMENS	NOTES
	A	LIGMAN LUMS-90281	39W	4872 AMBER LED	12	58,464	12'-0" POLE WITH 3'-0" x 1'-6" DIA. CONCRETE BASE
	B	PRESCOLITE LITEFORMS 1152	A-19 9W	590 AMBER LED	20	11,800	WALL BRACKET
	C	LIGMAN ULL-10021	29W	3189 AMBER LED	18	57,042	
	D	LIGMAN ULB-40436	4W	39 AMBER LED	8	312	

ALL AMBER LED FIXTURES ARE TURTLE FRIENDLY
 ALL AMBER LAMPS FALL BETWEEN 585 - 595 NM
 CALCULATIONS BASED ON 2.65 ACRES AT 100,000 LUMENS
 PER ACRE 265,000 LUMENS MAXIMUM ALLOWED

TOTAL LUMENS PROVIDED: 127,618
 TOTAL LUMENS ALLOWED: 265,000



SITE LIGHTING PLAN
 SCALE: 1"=20'-0"

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MOUNTAIN VIEW VILLA II
JIM MOYER
 740 E. MINGUS AVE
 COTTONWOOD, ARIZONA



REECE and ROWE
ARCHITECTS

4343 E. Avondale Drive
 Phoenix, Arizona 85018
 Phone: 602.957-4343
 Fax: 602.957-7546

1234 W. University Ave #100
 Flagstaff, Arizona 86001
 Phone: 928-779-4340
 Fax: 928-779-5087

REVISIONS:

SITE
 TITLE: LIGHTING PLAN
 SCALE: 1"=20'-0"
 DATE: 05 FEB 2020
 JOB NO.: RA818409

A102



STAFF MEMO

TO: Planning and Zoning Commission
FROM: Jim Padgett, Planner
HEARING DATE: March 16, 2020
PROJECT NUMBER: **CUP 20-002 Duvernay Garage**

The applicant is requesting approval of a Conditional Use Permit for a twenty-one foot (21') high detached garage that exceeds the height limitation allowed for an accessory structure by five feet (5'). The property is in the Quail Canyon Subdivision and is zoned Planned Area Development (PAD). APN 406-62-033. Owner/Applicant Michael J. Duvernay

PROJECT DATA AND FACTS:

Applicant/Property Owner	Michael J. Duvernay
Location of Property	1385 E. Partridge Court, APN 406-62-033
Present Zoning and Land Use	PAD (Planned Area Development) – Single Family Residence
Description of Applicant’s Request	Request for a Conditional Use Permit to allow a detached garage structure that exceeds the height permitted by the Zoning Code.

LAND USE:

Description and Character of Surrounding Area
The site is on the southwest corner of South Quail Canyon Road and Partridge Court. The property is surrounded by vacant parcels to the north, south, east and west. The Quail Canyon Subdivision is currently being developed with single family homes in a large lot subdivision. The terrain is located in an area of rolling hills and native vegetation.

Adjacent Land Uses and Zoning	
North:	PAD (Planned Area Development) Vacant
South:	PAD (Planned Area Development) Vacant
East:	PAD (Planned Area Development) Vacant
West:	PAD (Planned Area Development) Vacant

PROJECT PROPOSAL:

Background: The applicant has submitted an application for a Conditional Use Permit to construct a detached accessory RV garage adjacent to a single family residence in the PAD (Planned Area Development) zoning district. The height of the garage is proposed to be twenty-one feet (21’). Section 404.G.6.c.(7) states that a detached garage is limited to a height of sixteen (16’) feet unless otherwise permitted by a Conditional Use Permit.

Site and Visibility Issues: The applicant has designed the site plan where the construction of the detached garage would be on the uphill slope of the lot. To mitigate visibility issues of the garage from surrounding properties, the site would be cut where the garage would be located to street level. This is done by a cut of 4-7 feet to the rear of the garage and a dry stack stone would be used for retention of the cut slope. Construction of homes on the currently vacant parcels will also limit visibility of the structure from adjacent and nearby properties.

Parking: N/A

Lighting: Any lighting is required to be Dark Sky Compliant.

Access: Primary access to the site would be from Partridge Court on the north side of the property and would have a separate driveway to the west of the existing driveway for the main residence.

Landscape Plans: The applicant has submitted a landscape plan that identifies additional trees and shrubs to mitigate the appearance of the RV garage from adjacent properties.

Utilities: All utilities are available to the site.

Neighbor Comments: Staff has received 8 letters in opposition to the garage and 1 letter that is not opposed.

REQUIRED FINDINGS:

General Findings:

The current zoning of PAD (Planned Area Development) allows for detached accessory garage structures subject to a Conditional Use Permit being obtained if the height exceeds sixteen (16’) feet. The use will not be detrimental to the health, safety, and well-being of surrounding properties.

Compatibility with Surrounding Uses:

The construction of a detached accessory garage is compatible with the mixture of surrounding uses in the area, including similar residential uses. The construction of the garage at a height of twenty-one feet (21') will not change the existing character of the neighborhood.

Traffic and Circulation:

The request will not change the existing traffic and circulation. There are not any traffic or circulation issues associated with this project or property. The existing road is adequate to handle the traffic generated by this residence and the detached garage.

Nuisance Activities:

No nuisance activities have been identified at this location for the proposed use.

Buffering and Screening:

The use requested by this permit does not require additional screening. The applicant has provided a landscape plan that exceeds what is required by city code and offers buffering from adjacent properties.

Staff Review:

Staff has reviewed this project and finds the requested detached garage is permitted with the need to obtain a Conditional Use Permit. If approved, staff recommends the following stipulations:

If the Commission desires to approve this item, the suggested motion is:

I move to approve CUP 20-002 to allow Michael J. Duvernay to exceed the allowable height requirements, subject to the following stipulations:

1. That the project conforms to the Fire Department comments dated 2-21-2020 and Engineering Department comments dated 2-19-2020 as attached.
2. That the project is developed in conformance with the development plans as approved at the Planning and Zoning Commission at the March 16, 2020 meeting.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued prior to issuance of a Certificate of Occupancy.
4. The City of Cottonwood reserves the right to revoke the Conditional Use Permit (CUP) if the use creates an irremediable public safety problem as determined by the City.
5. Any other stipulations the Planning & Zoning Commission deems necessary.

Attachments: Application

Letter of Intent

Vicinity Map

Site Plan, Landscape Plan and Elevations

Engineering and Fire Department comments

Neighbor letters

Photos



CONDITIONAL USE APPLICATION

CDD

Development Application

#202

PROPERTY OWNER

Name: MICHAEL J. DOVERWAY

Address: 1385 E PARTRIDGE CT City: COTTONWOOD

State: AZ Zip: 86326 Phone: 586-615-2580 Cell: _____

Fax: _____ E-Mail michael.doverway52@gmail.com

APPLICATION NUMBER:

ZONING:

AGENT/REPRESENTATIVE

IDENTIFY THE PERSON WHO WILL COMMUNICATE WITH CITY STAFF, AND RECEIVE CORRESPONDENCE DURING THE HEARING PROCESS. CITY STAFF WILL NOT ACCEPT RESPONSIBILITY FOR COMMUNICATING WITH OTHER PROJECT PERSONNEL

Name: SAME

Address: _____ City: _____

State: _____ Zip: _____ Phone: _____ Cell: _____

Fax: _____ E-Mail _____

APPLICATION DATE:

FEES:

RECEIPT #:

REQUEST:

DATE:

TAKEN BY:

IDENTIFY ANY NECESSARY CODE EXCEPTIONS: _____

ASSESSOR'S PARCEL NUMBER(S) 406-62-033 ACRES 1.67 Ac

SITE ADDRESS (if applicable) 1385 E PARTRIDGE CT, COTTONWOOD AZ

SUBDIVISION: QUAIL CANYON LOT(S): _____ BLOCK: _____ UNIT: _____

Legal description attached (for Metes & Bounds Parcel or for Subdivision Lot Split)

I hereby certify that the information in this application is complete and accurate; and that I am the applicant of the bona fide agent of same as state above.

Signature: [Handwritten Signature]

Date: 2-13-20

Please Print Name: MICHAEL DOVERWAY

Michael J DuVernay
1385 E Partridge Ct
Cottonwood AZ 86326
586-615-2580

February 12th 2020

City Of Cottonwood
Commun City Développement
111 N . Main St
Cottonwood AZ 86326

Project name: DuVernay
Parcel no: 406-62-033
Owner/Applicant: Michael J DuVernay
1385 E Partridge Ct
Cottonwood AZ 86326

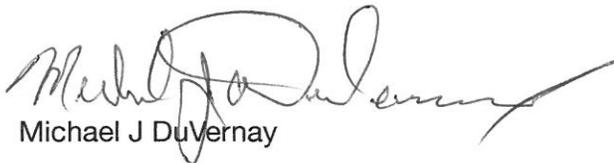
To whom it may concern,

As an attachment to the Code Review Application please accept this letter of intent that addresses the following:

The proposed to construct a 1728 square foot detached RV garage. The additional height is required to accommodate the height of our RV allowing us to park it inside. The garage will have dark sky exterior lighting. It will match the exterior and roof of our existing home and has been approved by our HOA.

Please contact me if you have any questions.

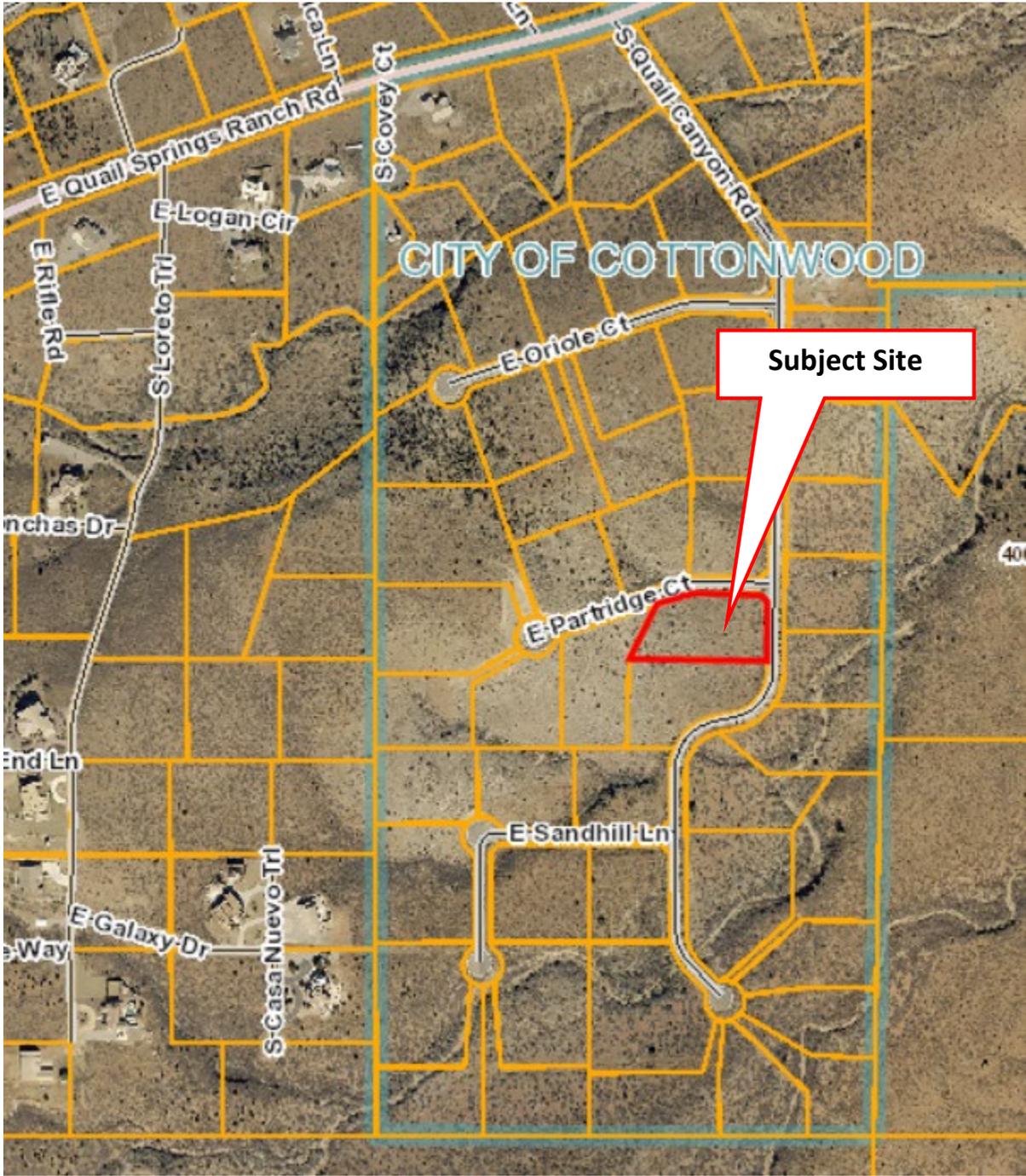
Sincerely


Michael J DuVernay

Vicinity Map
Duvernay Garage
1385 E. Partridge Court
Conditional Use Permit 20-0



Vicinity Map
Duvernay Garage
1385 E. Partridge Court
Conditional Use Permit 20-002



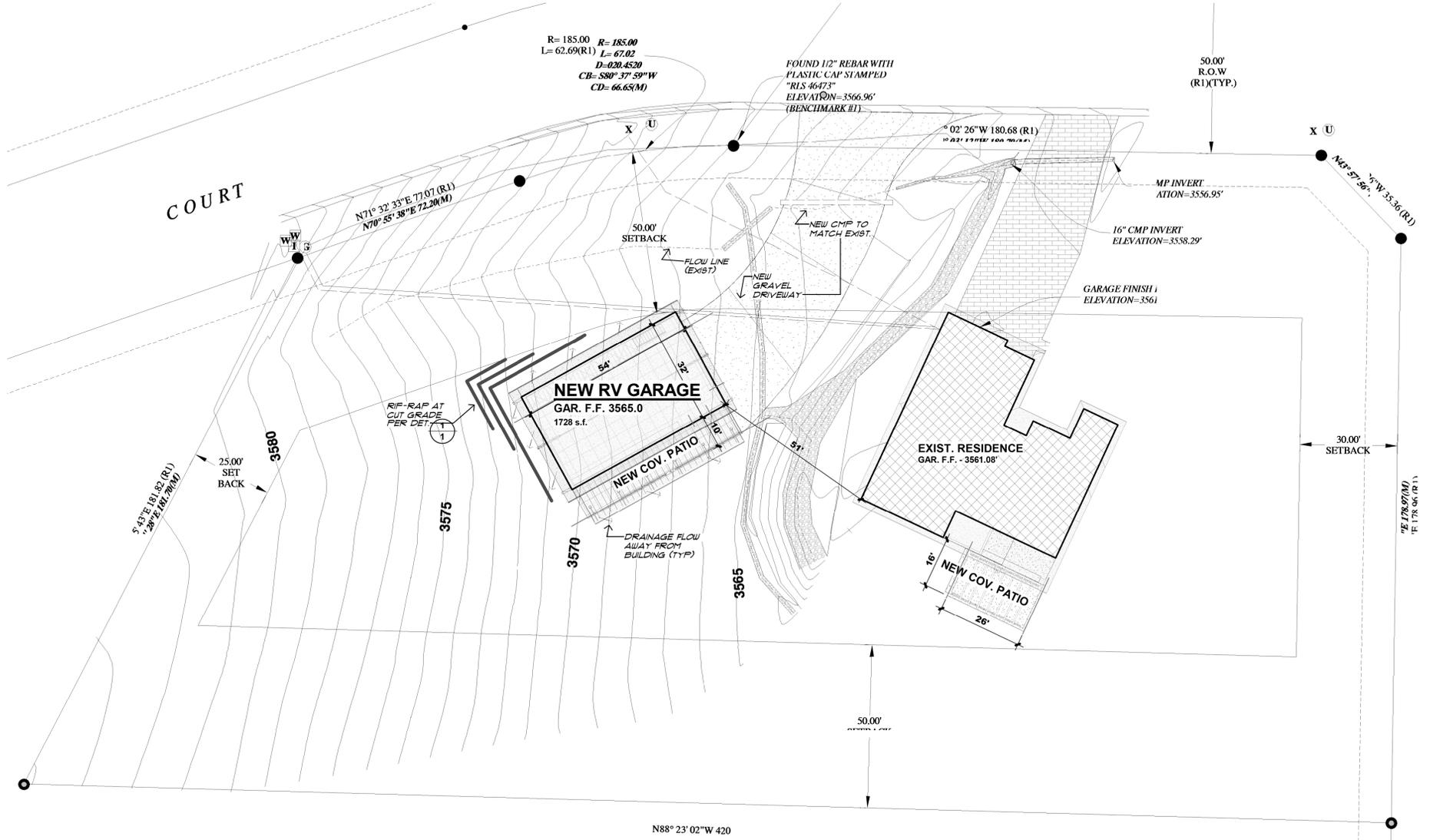
CODE: All construction shall comply with 2018 International Building Code as amended by the City of Cottonwood.
SEISMIC: Group II Occupancy Category, Seismic Category C, I = 1.0, Site Class D, S_s = 0.322, S_d = 0.386, S_l < 0.4g, therefore exempt by section 1613.
WIND: Wind speed: 90 m.p.h., exposure C, I = 1.0, Z = 1, 23
SNOW: P_g = 25 psf, I = 1.0, pf = 0.7, Cs = 1.0, ps = 25 psf
DESIGN LOADS: Roof dead load: 20 psf Roof live load: 20 psf Roof snow load: 25 psf

CONCRETE:
 Shall meet all the requirements of ACI 318-05 with Type II cement. Each yard of concrete shall contain 5 sacks minimum of Portland Cement, and shall not be reduced due to the addition of fly ash. No admixtures without approval. Concrete shall not be in contact with aluminum. Mechanically vibrate all concrete when placed, except slabs on grade. Slump, 4 1/2 inches. The contractor shall fix all cracks and displacements larger than 1/16 inch up to the project completion.
 All A.C.I. Codes, recommendations, and manuals apply. Minimum 28 day strength, as follows: Sidewalks.....2,500 p.s.i. Wall foundations, grade beams, slabs on grade.....2,500 p.s.i.
 Lap Splices and Extensions in Concrete: Unless noted otherwise on drawings, provide the following lengths: #3, 16"; #4, 22"; #5, 27"; #6, 35"; #7, 48"; #8, 63". Minimum clear cover for spliced reinforcing is greater than one bar diameter, and minimum clear spacing is greater rebar to match and lap with horizontal rebars at corners and then two bar diameters. Provide bent corner intersection of walls, beams and footings per ACI Manual. Dowel all vertical rebar to foundations. Provide clearances coverages per ACI Code.
 Class F fly ash shall not exceed 1 pound for 10 pounds of Portland Cement. Do not place concrete in lengths exceeding 100 feet.
 Waterproof concrete: Maximum w/c ratio 0.43. Air entrainment may be provided to reduce the potential for freeze/thaw damage at exterior slabs on grade.

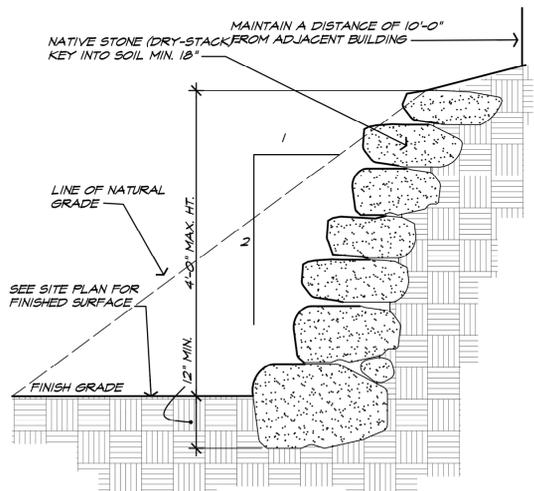
MASONRY:
 The Arizona Masonry Guild specifications apply. Brick units 2,500 p.s.i. minimum. Block units, grade N-1, per ACI 530-05. Running Bond. Mortar Type S. Grout 2,000 p.s.i., f_m = 1,500 p.s.i. Mechanically vibrate all grout in vertical spaces. Maximum grout lift without cleanouts 4'-0" in block walls and 1'-0" in grouted two wythe walls.
 See Architectural Drawings for expansion or control joints. However, the spacing shall not exceed 20 feet. Do not locate a joint at less than 2'-0" from bearing of beam or lintel.
 See plans for vertical wall reinforcing. Except where noted otherwise on plans, minimum vertical wall reinforcement shall be as follows for above grade CMU walls:
 8" Wall Vertical Reinforcing: In center of grout, minimum 2" x 3" rough grout space at two wythe walls at center of wall, continuous full height of wall as follows: 1 #5 at all corners, intersections, wall ends, jamps, and each side of joints. 1 #5 at 40 inches on center elsewhere.
 12" Wall Vertical Reinforcing: In center of grout continuous full height of wall as follows: 1 #5 each face at all corners, intersections, wall ends, jamps, and each side of joints. 1 #5 each face at 40" on center elsewhere.
 Dowel above rebar to foundation.
 Horizontal Reinforcing: In minimum 8 inches deep grouted bond beam, 2 #4, at top of parapets, and structurally connected roof and floor levels. Add a mid-height bond beam when the wall is higher than 10'-0" to bearing. Provide ladder type #9 joint reinforcing at 16 inches on center. Use truss type at two wythe walls. Place bond beam bars at roof and floor lines continuous thru joints. Cut other bars and joint reinforcing at wall joints. Continuous grouted cavity shall be reinforced with #4 horizontals at 24 inches on center. Grout barrier below bond beams shall be continuous wire lath.

WOOD:
General: Comply with International Building code Standards. All lumber pieces, in place, shall be grade stamped.
 Glulam Beams: West Coast Douglas Fir with f_b = 2,400 p.s.i. 24F-V4 stress grade, except at continuous or cantilevered beams use 24F-V8. Fabrication and handling per latest AITC Standards. Exterior (wet-use) glue. Beams to bear AITC stamp with certificates. Beams to be Premium appearance grade.
 Sawn Lumber: West Coast Douglas Fir, except as noted. Posts, 4X and 6X Beams: No. 1 Built-up Beams/Headers, Studs, and 2X Joists: No. 2 or Hem Fir No. 2.
 Studs: All exterior wall and bearing wall studs 12'-0" or less in height shall be 2 X 6 at 16" o.c., DF-L or Hem-Fir, No. 2 Grade. All stone veneer supporting wall studs, and all exterior wall and bearing wall studs greater than 12'-0" in height shall be 2 X 6 at 12" o.c., DF-L or Hem-Fir, No. 2 Grade.
 Contractor shall provide built up post in wall to match width of all framing beams or girders. Face nail each stud in built up post to adjacent stud with one row of 16d nailing, staggered at 8" o.c. Provide horizontal blocking at 4'-0" on center vertically staggered, in all bearing, stone veneer, and shear walls.
 Double up studs at jamps of openings up to 6'-0". Provide triple studs at larger opening jamps.
 For non-bearing openings up to 8'-0", 2-2X lintel, depth in inches, to be equal or greater than opening width in feet.
 Connections: All framed connections shall be made with framing anchors each side or joist hangers, by Simpson or approved equal, appropriate for the member for upward and downward loads, in accordance with current ICC reports. For Nailing Schedule, see table 2304.9.1 of International Building Code. Field drill all holes for proper matching and bearing. Provide cut washers at bolts in wood. Pre-drill all holes larger than 20d, 1/32" minimum to 1/16" maximum oversize.
 Roof Sheathing: Use 5/8" A.P.A. rated with exterior glue, PS 1-95 or PS 2-92, 32/16 span index. Panel edges shall bear on the framing member and butt along their center line. Stagger joints. Fasten sheathing with 8d common, 0.131" x 2 1/2" P-nails installed per NER-272. Fastener spacings shall be 6" o.c. at diaphragm boundary nailing and at supported panel edges, and 12" o.c. at intermediate supports including each of any multiple members. Minimum edge distance 3/8". Lay up sheathing other than Berkeley Panels, with face grain perpendicular to supports. OSB may be used in lieu of plywood.
 Floor Sheathing: Use 3/4" A.P.A. rated with exterior glue, PS 1-95 or PS 2-92, 48/24 span index, edges blocked. All floor decking shall be tongue-and-groove with sheathing glued to each joist. Use only glue conforming to A.P.A. performance specification AFG-001, applied in conformance with manufacturer's recommendations. Panel edges shall bear on the framing member and butt along their center line. Stagger joints. Fasten sheathing with 10d x 3" nails or equivalent screws. Fastener spacings shall be 2 1/2" o.c. staggered at diaphragm edge boundary, 4" o.c. at supported panel edges, and 8" o.c. at intermediate supports including each of any multiple members. Minimum edge distance 3/8". Lay up sheathing with face grain perpendicular to supports.
 Shearwall Sheathing: Unless shown otherwise on plans, use 1/2" plywood, C-D with exterior glue; or 3/8" minimum A.P.A. rated with exterior glue, PS 1-95 or PS 2-92. Panel edges shall butt along framing member center line. Minimum nailing edge distance 3/8". For nailing requirements, see plans and shearwall schedule. OSB may be used in lieu of plywood.

SUPPLEMENTARY NOTES:
 Contractor shall provide all temporary bracing, shoring, guying or other means to avoid excessive stresses and to hold structural elements in place during construction.
 Any members required to support equipment from the framing shown shall be designed and provided by the equipment contractor.
 3/4 inch diameter x 5 inch headed bolts in masonry shall be installed in 1-1/4 inch diameter hole drilled with rotohammer, vertical or 15 degrees inclined in Burkesstone.
 Any engineering design provided by others and submitted for review shall bear the seal of a Structural Engineer registered in Arizona.
 Unless noted otherwise, details on Structural Drawings are typical as indicated by cuts, references, or titles.
 In case of conflicts, more costly requirements govern for bidding. Submit clarification request prior to proceeding with work.
 Contractor shall establish and verify in field all existing conditions affecting new construction.
 Grout pack shall be non-shrink, non-metallic, meeting ASTM C-827, C-191, and C-109, mixed and installed per manufacturer's specifications. Minimum compressive strength 5,000 p.s.i. in 2 days.



SITE PLAN
 1" = 20'-0"
 1. SLOPE ALL GRADES MIN. 2% FROM BUILDING.



SHEET INDEX

1. SITE PLAN/ PERMIT INFORMATION / SPECIFICATIONS/ GEN. STRUCTURAL NOTES
2. FLOOR PLAN
3. FOUNDATION PLAN / ROOF FRAMING PLAN
4. ELEVATIONS / SECTIONS
5. DETAILS
6. COVERED PATIO

PERMIT INFORMATION

OWNER: Lisa and Michael DuVernay
PARCEL #: 406-02-033
ADDRESS: 1385 E. Partridge Court, Cottonwood, Arizona
ZONING: PAD - City of Cottonwood
LOT AREA: Approx. 1.67 AC
AREA CALCULATIONS: Existing Area - approx. 2365 s.f. New Garage - 1728 s.f. New Covered Patio - 956 s.f.

LOT COVERAGE: 2365 s.f. (3.3%) - Existing 5049 s.f. (6.9%) Proposed
OCCUPANCY: R-3
CONSTRUCTION TYPE: VB (non-sprinklered)

SCOPE OF WORK:
 This project is a new detached RV Garage located within the city limits of Cottonwood. Construction detailing is slab-on-grade with wood framed walls and wood roof trusses. Work also includes a new shade structure over an existing patio.

SPECIAL INSPECTIONS: None.
DEFERRED SUBMITTALS: Pre-Engineered Wood Trusses.

All work performed will comply with the following:
 2018 International Building Code (IBC) with Appendices C, G, H, I and J with local amendments,
 2018 International Residential Code with Appendices A, B, C, G, H, J, O, P and Q with local amendments,
 2018 International Plumbing Code with Appendices B, C, D, and E,
 2018 International Mechanical Code with Appendix A,
 2018 International Fuel Gas Code with Appendices A, B and C
 2018 International Energy Conservation Code
 2018 International Existing Building Code with Appendices A, B and C
 2018 International Fire Code with Appendices B, C, D, E, H and I with local amendments
 2017 National Electrical Code

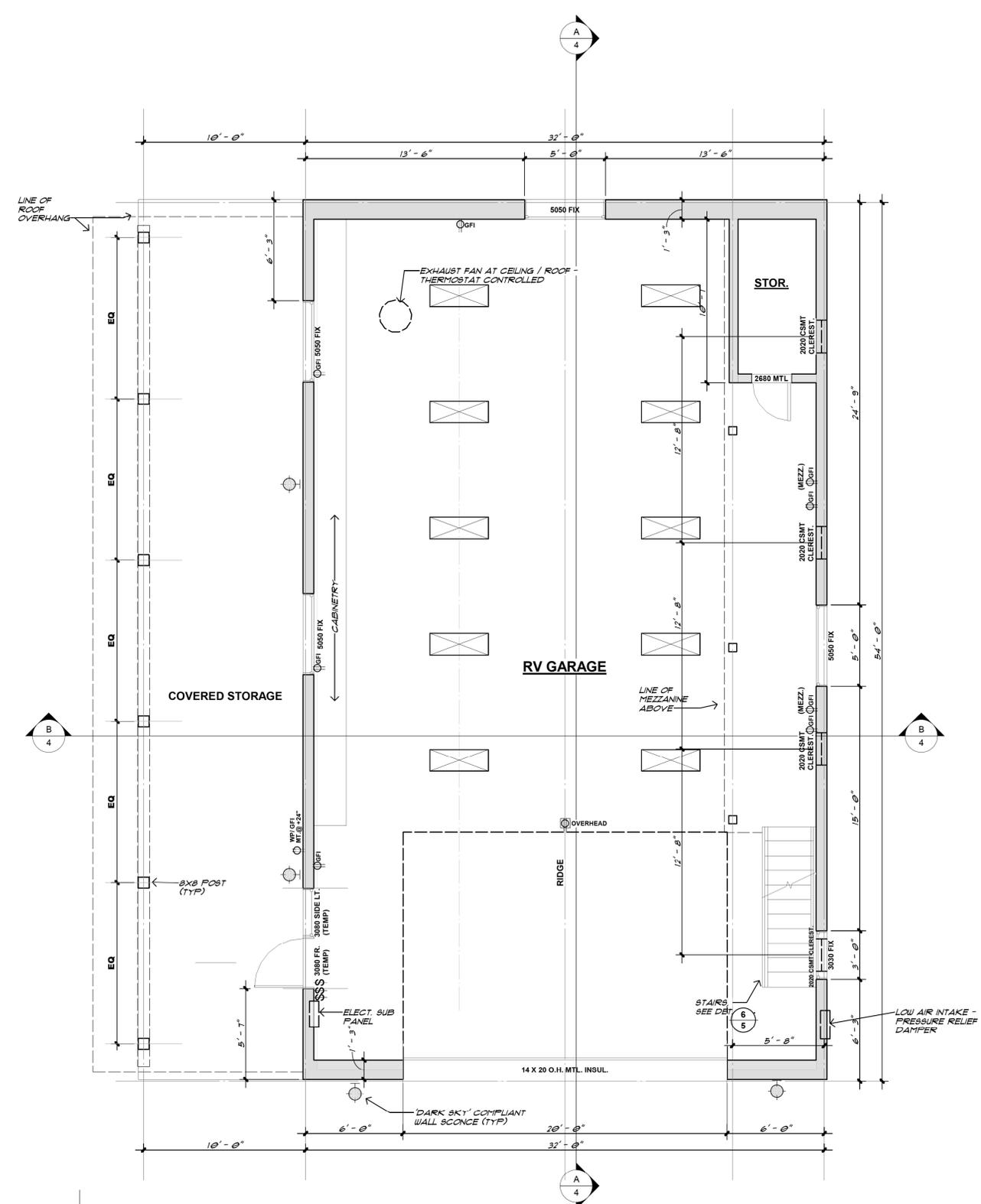
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JOEL WESTERVELT AIA ARCHITECT
 59 ARNOLD STREET - CAMP VERDE, ARIZONA 86322
 jwestervelt@westerveltarchitect.com | 928-567-7253

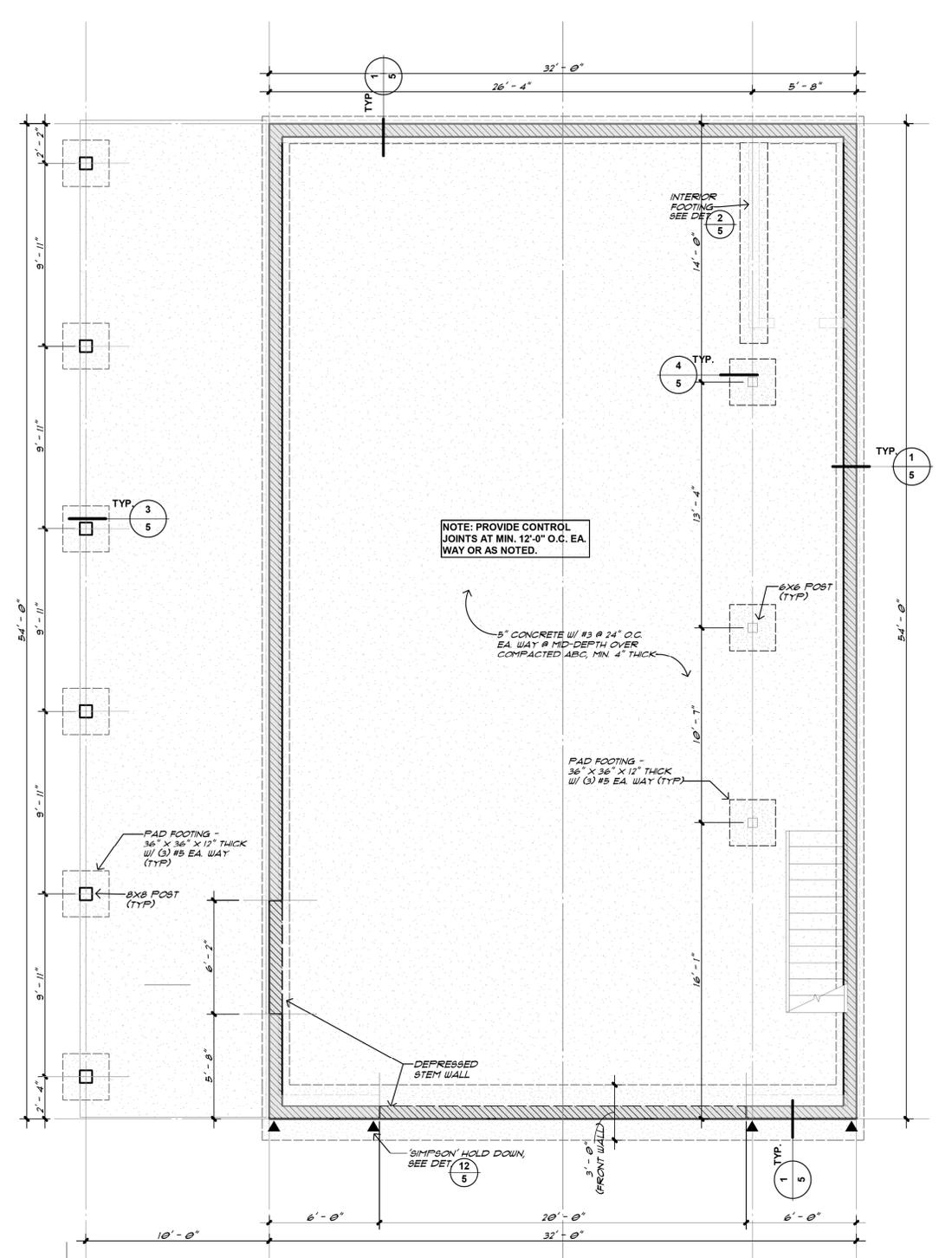
DuVernay RV Garage / Patio cover
 1385 E. Partridge Court Cottonwood, Arizona

Date: 02/07/2020
 Scale:
 Drawn:
 Job:
 Sheet: **1**

REVISIONS	BY



FLOOR PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

- FRAMING CONTRACTOR TO TIE IN PLACE ALL HOLDDOWNS AND ANCHOR BOLTS PRIOR TO FOUNDATION INSPECTION. EMBEDMENT PER MANUFACTURER'S SPECIFICATIONS.
- VERIFY ALL UNDERSLAB REQUIREMENTS, INCLUDING MECHANICAL DUCTWORK, PLUMBING & ELECTRICAL PRIOR TO POURING CONCRETE.
- ALL FOOTINGS TO BE PLACED PER GEO-TECHNICAL ENGINEER'S RECOMMENDATION.
- SLOPE ALL WALKS/PATIOS MIN 2% AWAY FROM BUILDING.

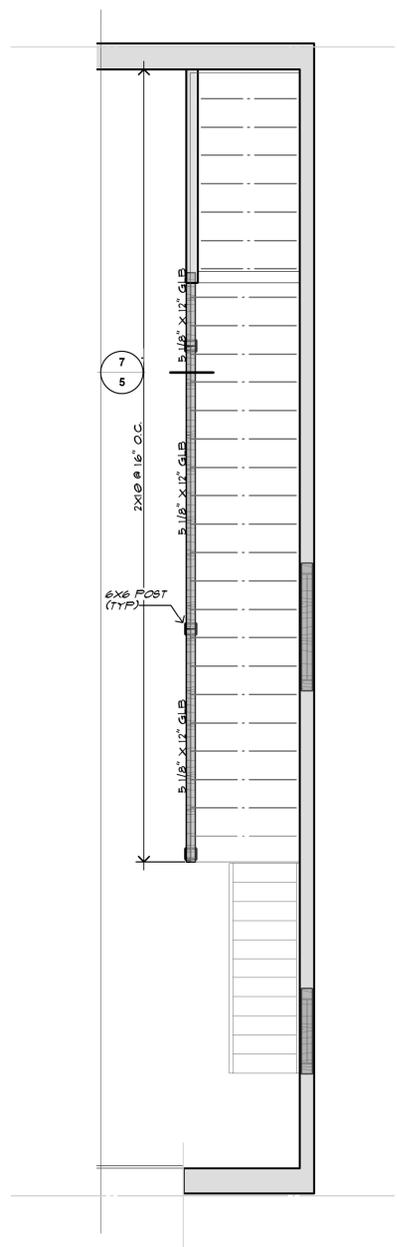
JOEL WESTERVELT AIA ARCHITECT
93 ARNOLD STREET - CAMP VERDE, ARIZONA 85522
TEL: 928-288-1111
WWW.WESTERVELTARCHITECT.COM



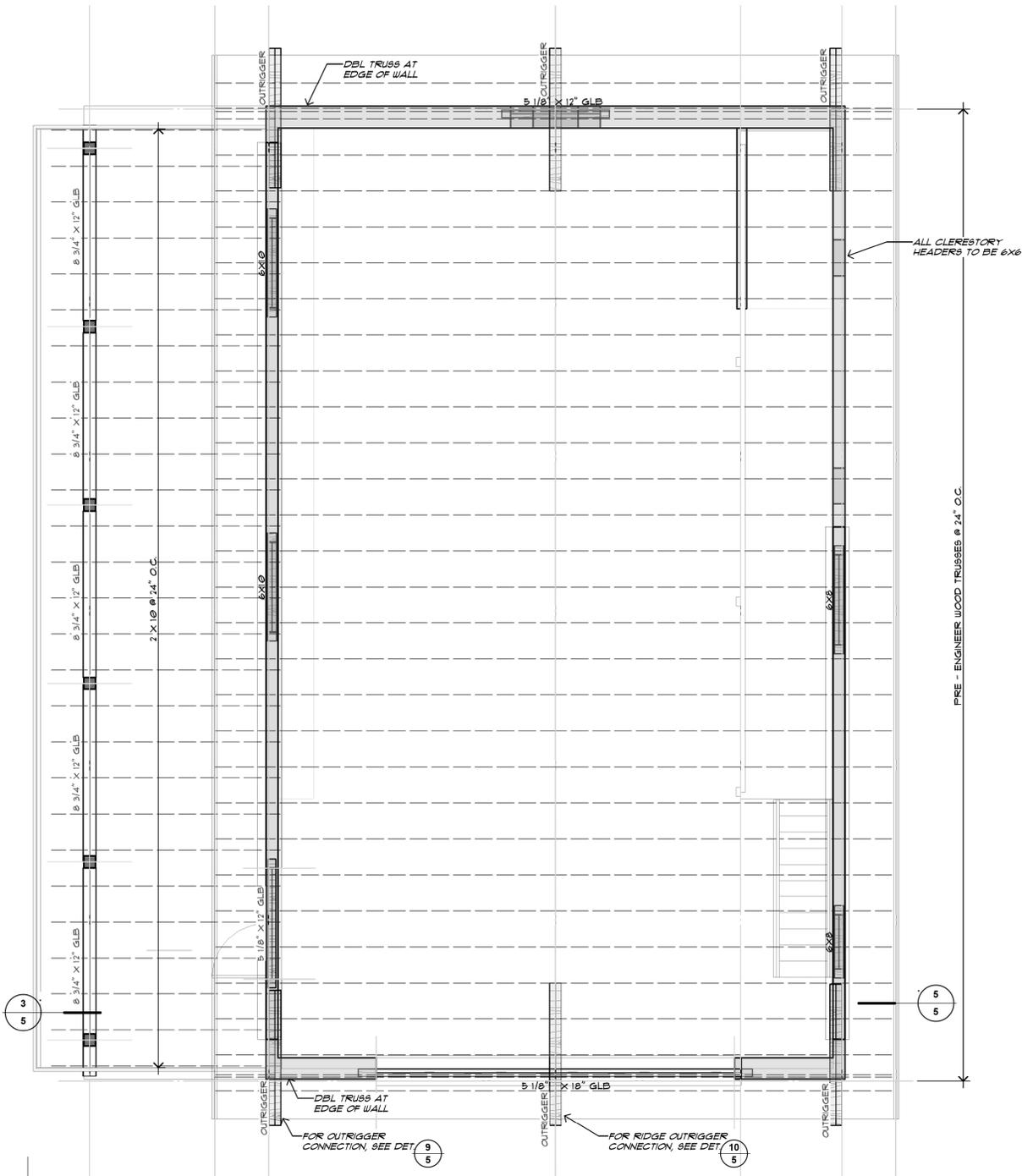
DuVernay RV Garage / Patio cover
1385 E. Partridge Court
Cottonwood, Arizona

Date	02/07/2020
Scale	
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Job	
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REVISIONS	BY



MEZZANINE FLOOR FRAMING PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

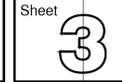
- ROOF FRAMING NOTES:**
1. ALL BEAMS TO HAVE MIN. (2) 2X6 POSTS AT BEARING U.N.O.
 2. LUMBER GRADING TO BE THE FOLLOWING: GLB'S- 24F-V4 D.F. U.N.O., CANTILEVERED GLB'S- 24F-V8 D.F., DIMENSION- #2 HEM FIR, 4xS- #1 DFL.
 3. SHEAR AND BEARING WALLS SHOWN SHADED.
 4. ALL CONNECTORS TO BE SIMPSON!
 5. USE PC & BC CONNECTORS TO ALL POSTS AND/OR KINGPOSTS U.N.O.
 6. WALLS TO BE 2 X 6 STUDS @ 16" O.C. MINIMUM EXCEPT AS NOTED.
- NOTE REGARDING SHEATHING:** ALL EXTERIOR WALLS SHALL BE COMPLETELY SHEATHED WITH 1/2" PLYWOOD. NAILING TO BE 6d @ 6" O.C. EDGES, 12" O.C. IN FIELD, UNLESS NOTED OTHERWISE.



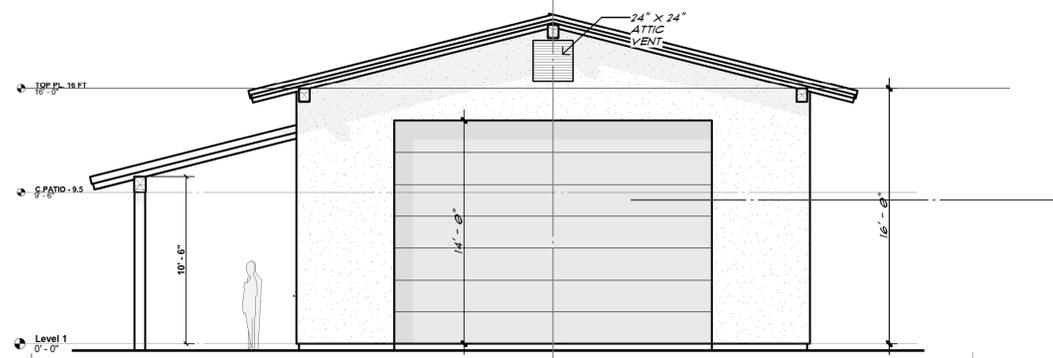
DuVernay RV Garage / Patio cover
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Cottonwood, Arizona

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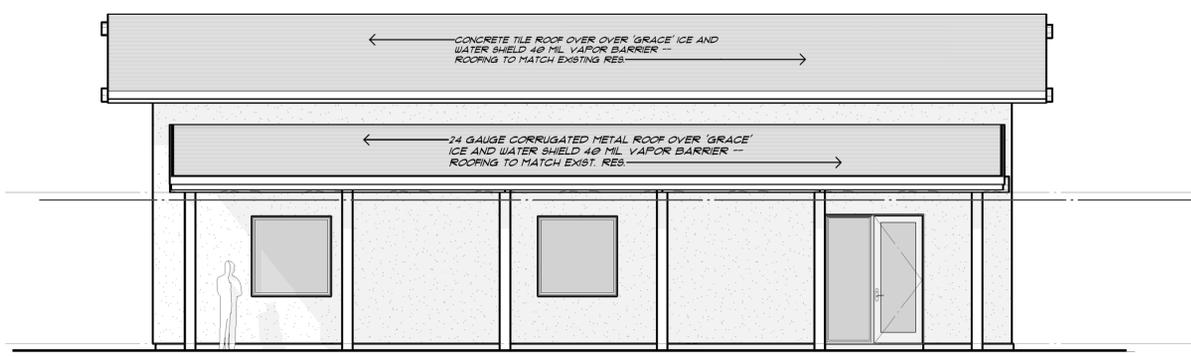
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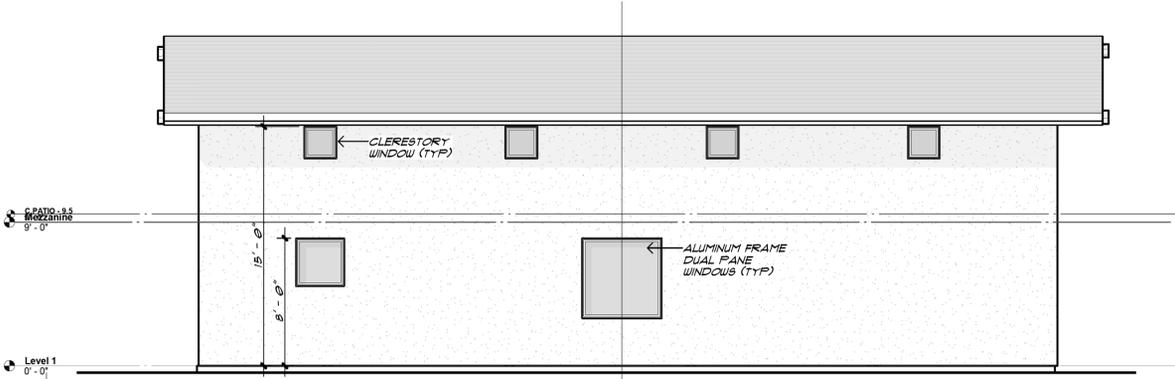
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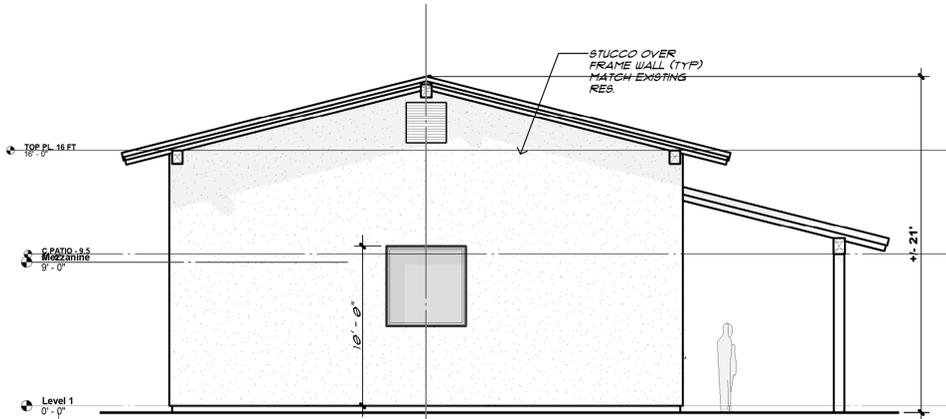
FRONT ELEVATION (EAST)
3/16" = 1'-0"



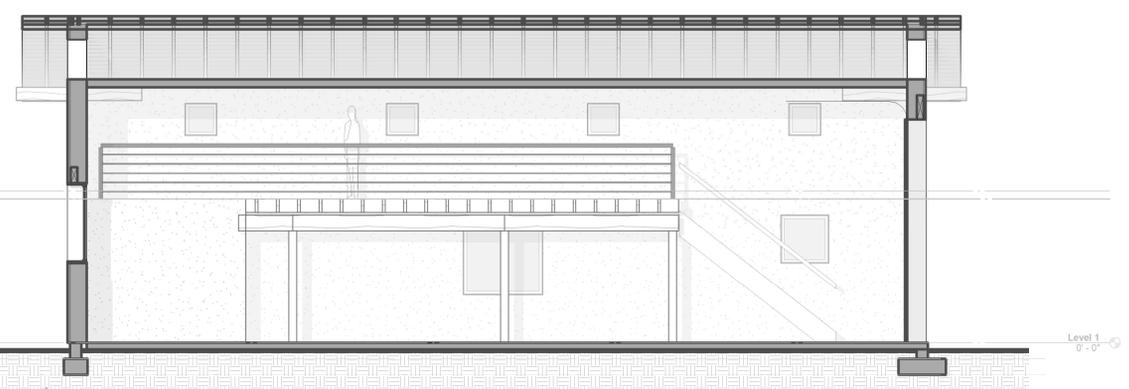
SIDE ELEVATION (SOUTH)
3/16" = 1'-0"



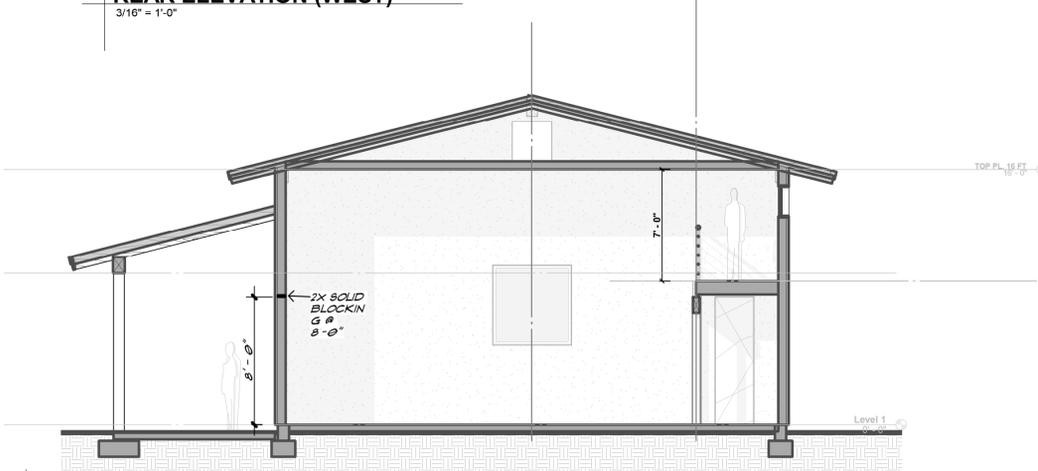
SIDE ELEVATION (NORTH)
3/16" = 1'-0"



REAR ELEVATION (WEST)
3/16" = 1'-0"



A LONGITUDINAL SECTION
3/16" = 1'-0"



B SECTION THROUGH GARAGE
3/16" = 1'-0"

STUCCO NOTE:
STUCCO SHALL BE AS MANUFACTURED BY "OMEGA PRODUCT INTL." OR EQUAL, INSTALLED OVER 1" THICK, 1 1/2" POUND DENSITY, R-4.17 POLYSTYRENE BOARD. APPLY 17 GAUGE X 1 1/2" WOVEN WIRE FABRIC (FURRED MINIMUM 1/4" FROM FACE) OVER POLYSTYRENE BOARD AND MINIMUM 3/8" SCRATCH COAT PLUS MINIMUM 1/2" FINISH COAT OF FIBERED CEMENT PLASTER. ALL MATERIALS AND INSTALLATION SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS OF ESR1194 OF ICC EVALUATION SERVICE, INCL. WEEP SCREED/LAPS. VERIFY FINISH TEXTURE & COLOR WITH ARCHITECT.

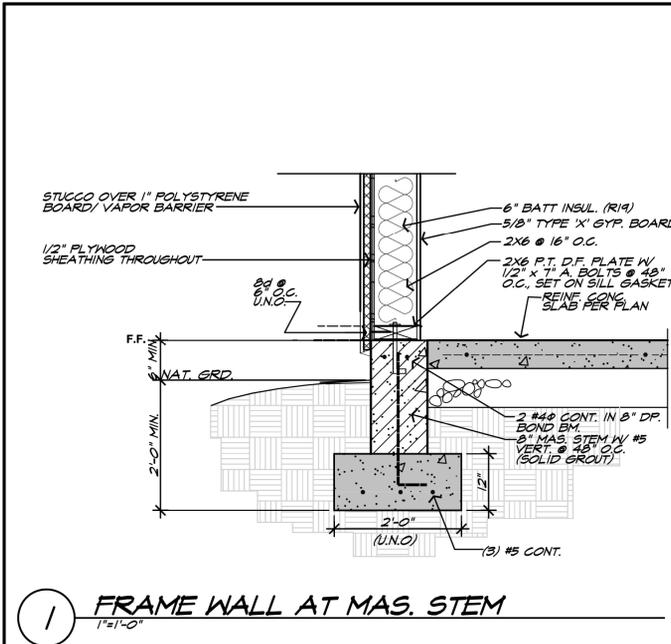
ELEVATION NOTES:
1. ALL EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE WRAPPED WITH BITUTHENE, MINIMUM 12" ALL AROUND OPENING TO ENSURE ADEQUATE MOISTURE PROTECTION.
2. ALL EXTERIOR FRAME WALLS TO BE COMPLETELY SHEATHED (CONTINUOUS SHEAR) WITH 1/2" PLYWOOD. NAILING TO BE 8d @ 6" O.C. EDGES, 12" O.C. IN FIELD.
3. VAPOR BARRIER AT EXTERIOR FRAME WALLS SHALL BE (1) LAYER OF 'TYVEK'.

JOEL WESTERVELT AIA ARCHITECT
59 ARNOLD STREET CAMP VERDE, ARIZONA 86322
TEL: 928-527-7253
WWW.JOELWESTERVELTARCHITECT.COM

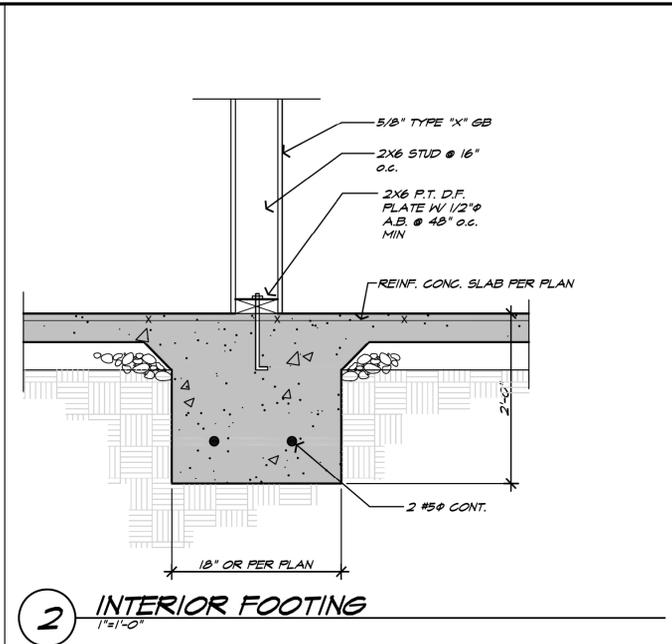


DuVernay RV Garage / Patio cover
1385 E. Partridge Court Cottonwood, Arizona

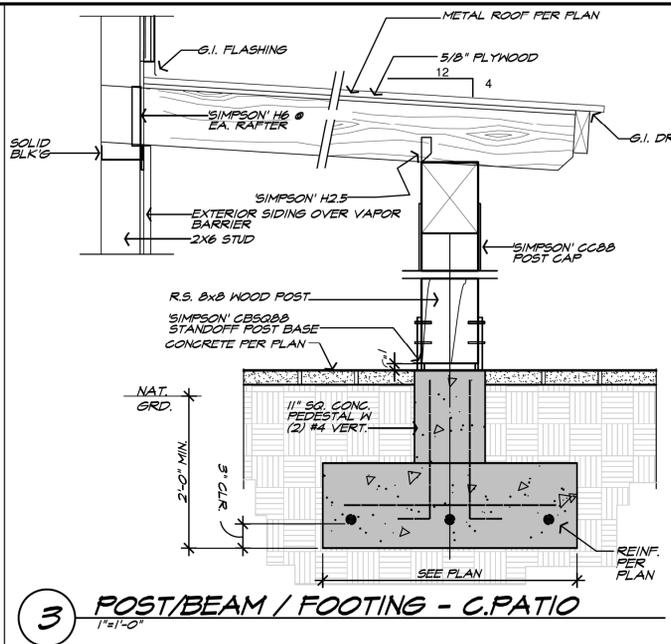
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Job
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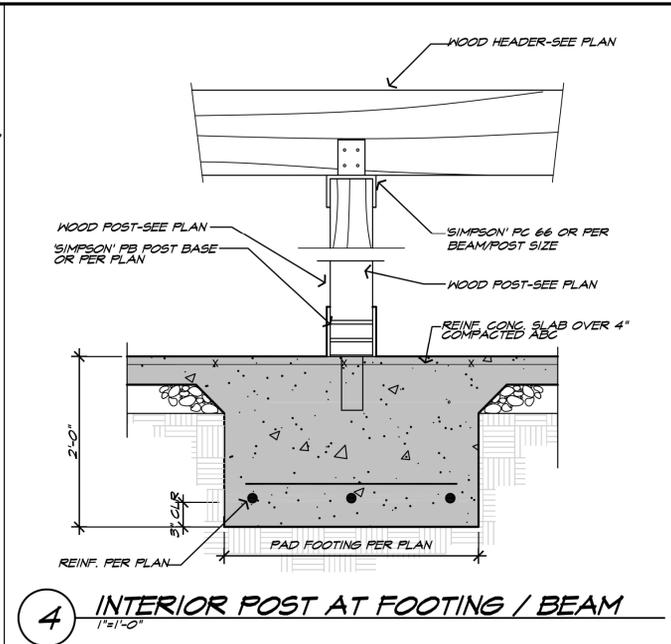
1 FRAME WALL AT MAS. STEM
1"=1'-0"



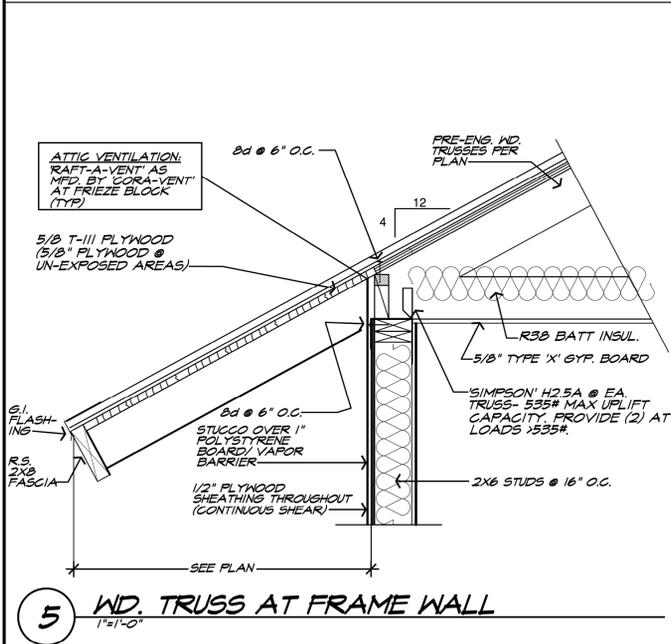
2 INTERIOR FOOTING
1"=1'-0"



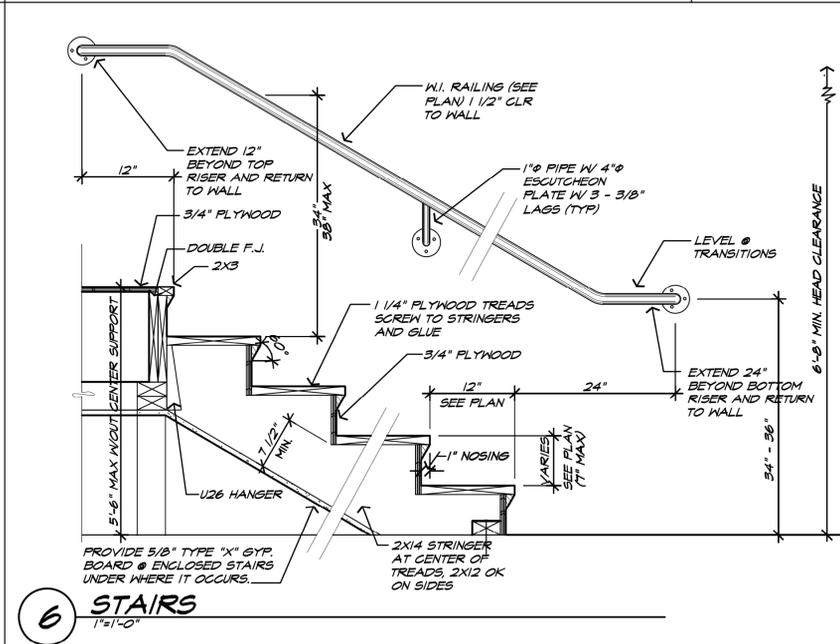
3 POST/BEAM / FOOTING - C.PATIO
1"=1'-0"



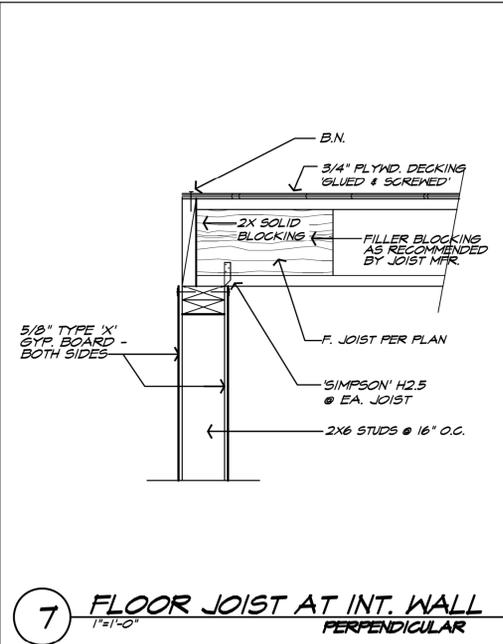
4 INTERIOR POST AT FOOTING / BEAM
1"=1'-0"



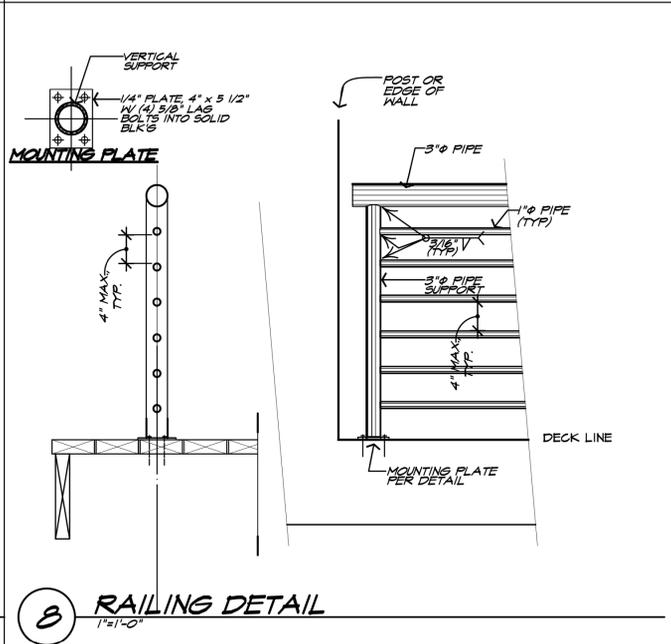
5 WD. TRUSS AT FRAME WALL
1"=1'-0"



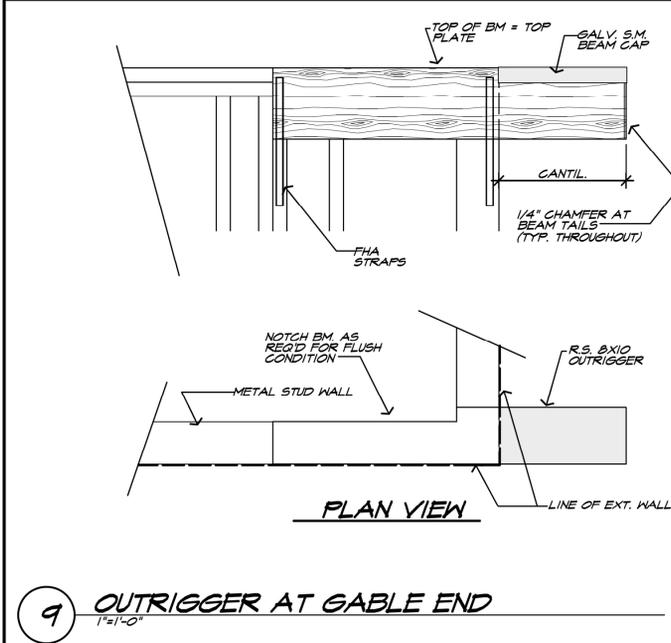
6 STAIRS
1"=1'-0"



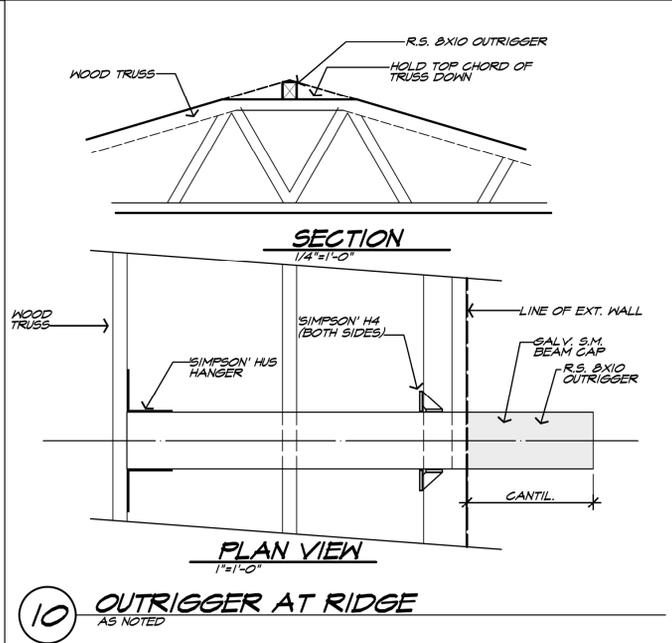
7 FLOOR JOIST AT INT. WALL PERPENDICULAR
1"=1'-0"



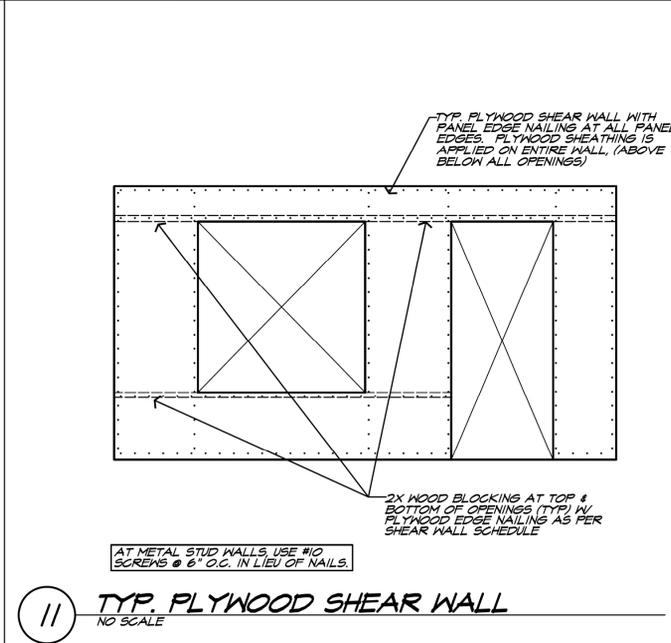
8 RAILING DETAIL
1"=1'-0"



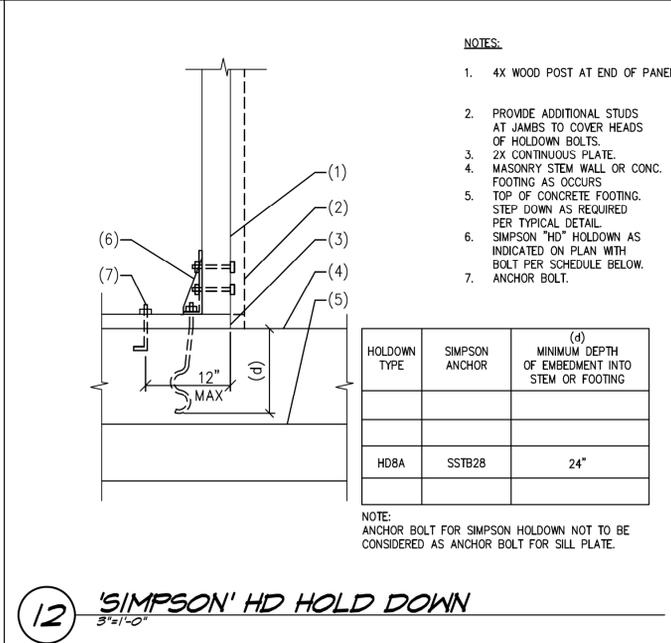
9 OUTRIGGER AT GABLE END
1"=1'-0"



10 OUTRIGGER AT RIDGE
AS NOTED



11 TYP. PLYWOOD SHEAR WALL
NO SCALE



12 'SIMPSON' HD HOLD DOWN
3"=1'-0"

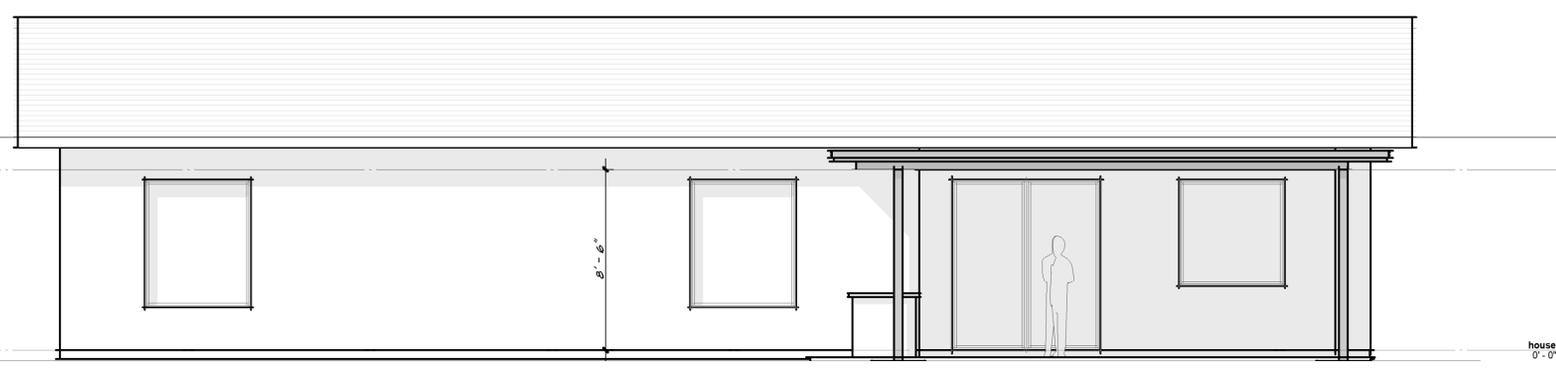
REVISIONS	BY

JOEL WESTERVELT AIA ARCHITECT
 55 ARNOLD STREET CAMP VERDE, ARIZONA 85522
 520.567.2555
 www.joelwesterveltarchitect.com

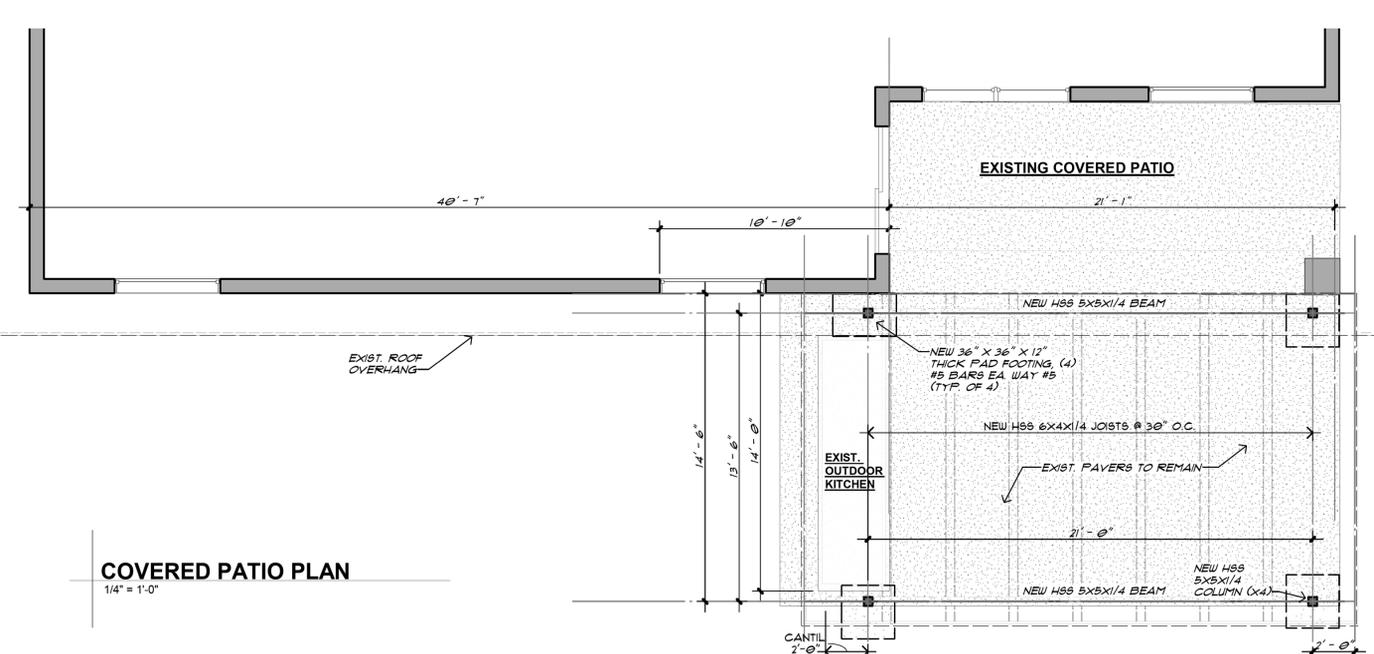
Duvernay RV Garage / Patio Cover
 1385 E. Partridge Court Cottonwood, Arizona

Date _____
 Scale _____
 Drawn _____
 Job _____
 Sheet **5**

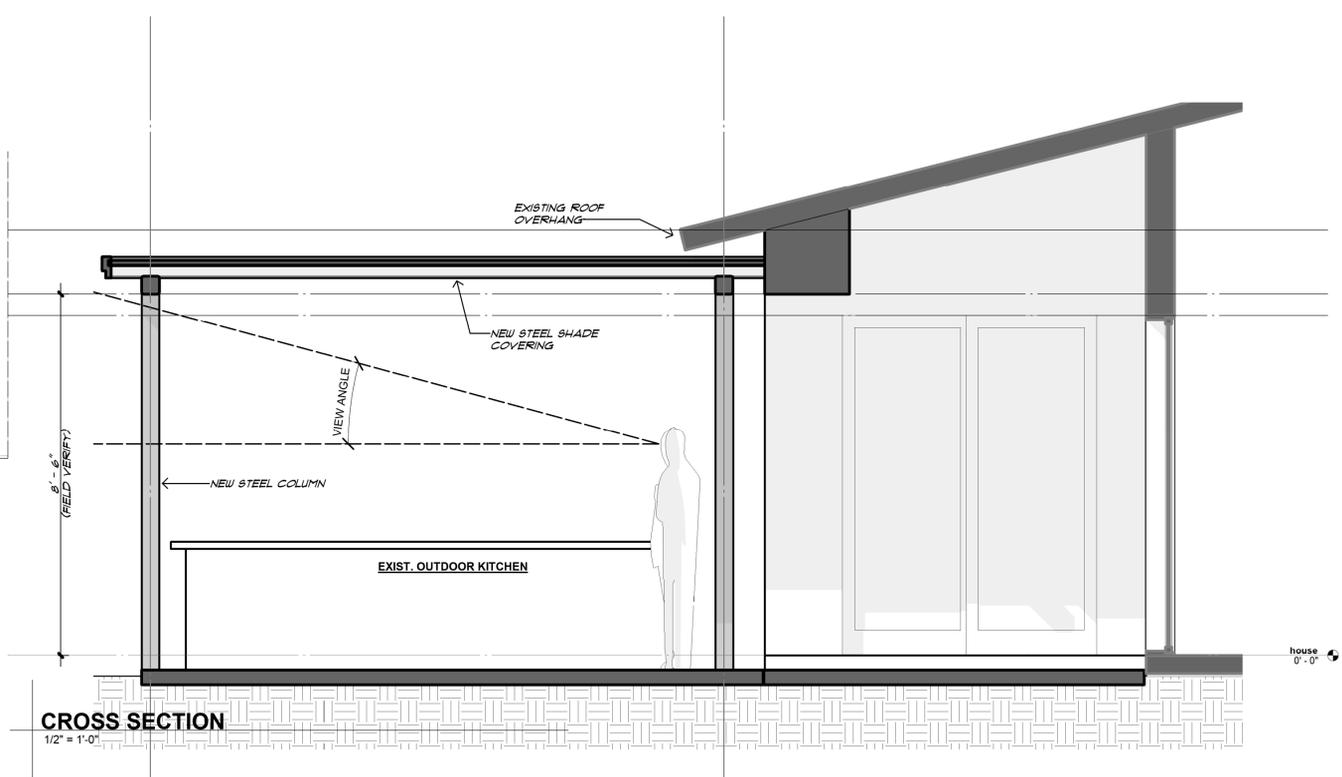
REVISIONS	BY



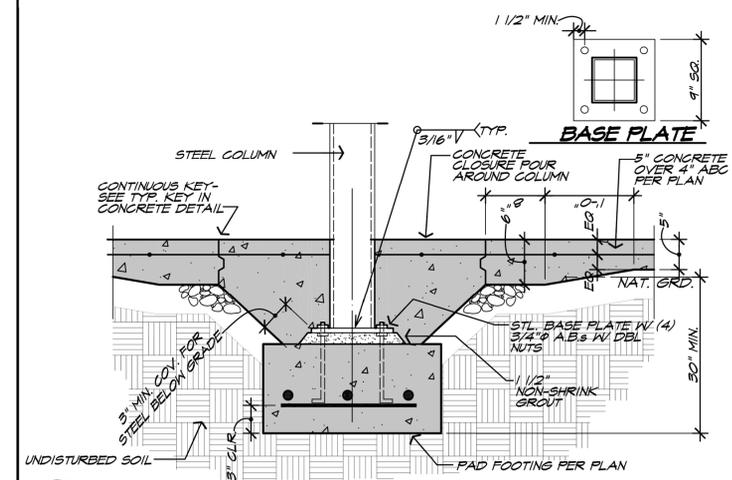
COVERED PATIO ELEVATION
1/4" = 1'-0"



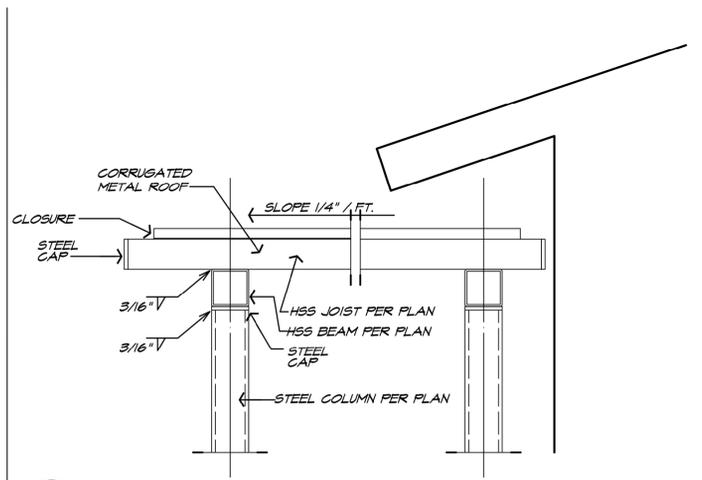
COVERED PATIO PLAN
1/4" = 1'-0"



CROSS SECTION
1/2" = 1'-0"



1 COV. PATIO DETAILS - COL. / FOOTING
1" = 1'-0"



2 COV. PATIO DETAILS - COL. / BEAM
1" = 1'-0"
1. GRIND ALL WELDS SMOOTH. EASE ALL EDGES.

JOEL WESTERVELT AIA ARCHITECT
93 ARNOLD STREET, CAMP VERDE, ARIZONA, 85922
TEL: 928.287.1111 FAX: 928.287.1112
WWW.WESTERVELTARCHITECT.COM

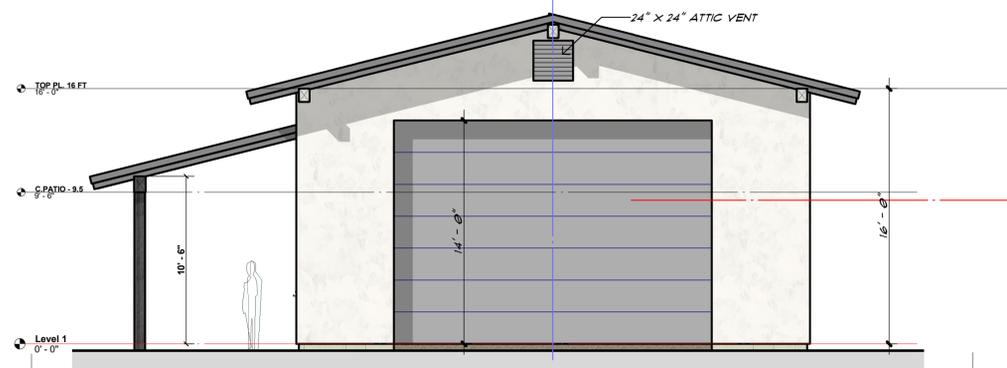


DuVernay RV Garage / Patio cover
1385 E. Partridge Court
Cottonwood, Arizona

Date 02/07/2020
Scale
Drawn
Job
Sheet



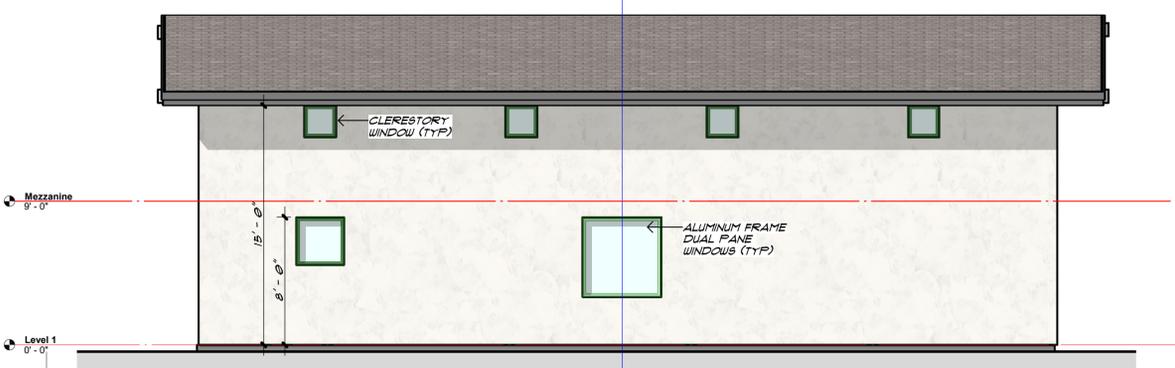
REVISIONS	BY



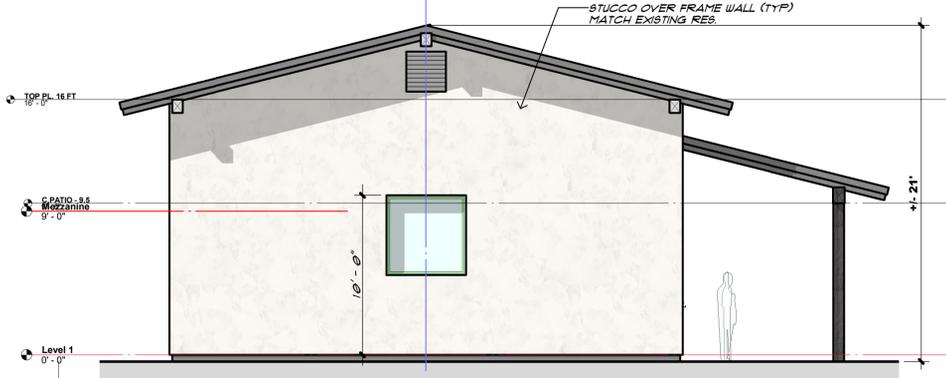
FRONT ELEVATION (EAST)
3/16" = 1'-0"



SIDE ELEVATION (SOUTH)
3/16" = 1'-0"



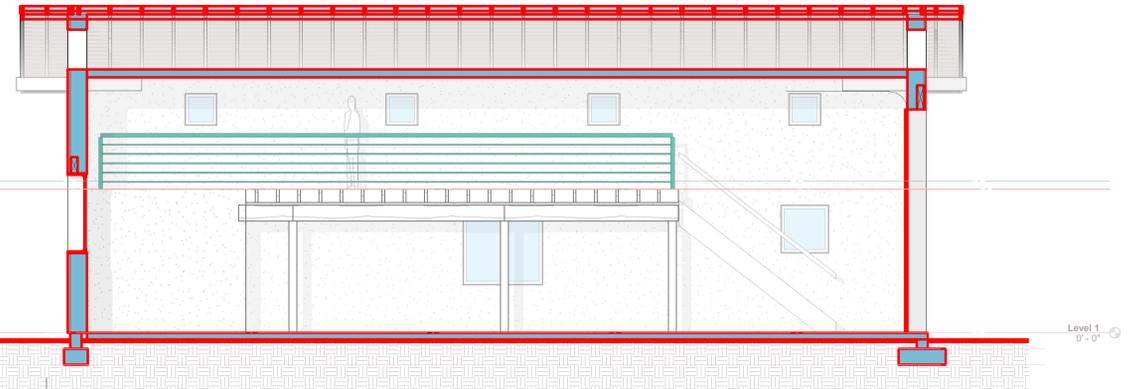
SIDE ELEVATION (NORTH)
3/16" = 1'-0"



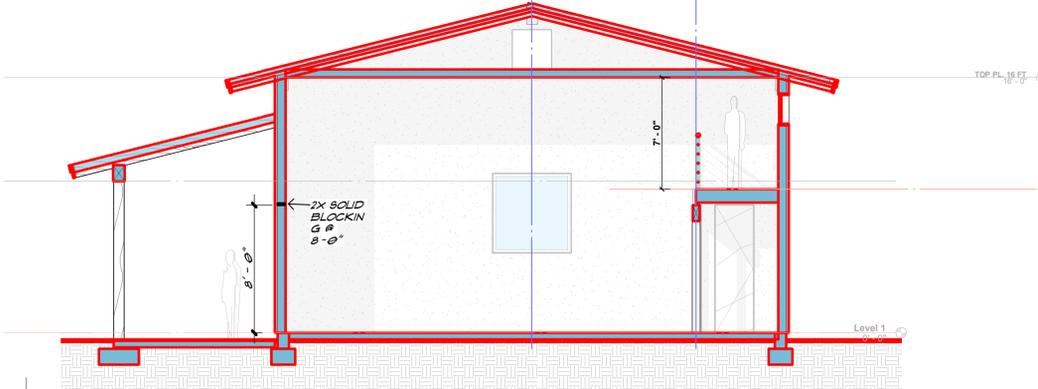
REAR ELEVATION (WEST)
3/16" = 1'-0"

STUCCO NOTE:
STUCCO SHALL BE AS MANUFACTURED BY "OMEGA PRODUCT INTL." OR EQUAL, INSTALLED OVER 1" THICK, 1 1/2" POUND DENSITY, R-4-17 POLYSTYRENE BOARD. APPLY 17 GAUGE X 1 1/2" WOVEN WIRE FABRIC (FURRED MINIMUM 1/4" FROM FACE) OVER POLYSTYRENE BOARD AND MINIMUM 3/8" SCRATCH COAT PLUS MINIMUM 1/2" FINISH COAT OF FIBERED CEMENT PLASTER. ALL MATERIALS AND INSTALLATION SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS OF ESR1194 OF ICC EVALUATION SERVICE, INCL. WEEP SCREED/LAPS. VERIFY FINISH TEXTURE & COLOR WITH ARCHITECT.

ELEVATION NOTES:
1. ALL EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE WRAPPED WITH BITUTHENE, MINIMUM 12" ALL AROUND OPENING TO ENSURE ADEQUATE MOISTURE PROTECTION.
2. ALL EXTERIOR FRAME WALLS TO BE COMPLETELY SHEATHED (CONTINUOUS SHEAR) WITH 1/2" PLYWOOD. NAILING TO BE 8d @ 6" O.C. EDGES, 12" O.C. IN FIELD.
3. VAPOR BARRIER AT EXTERIOR FRAME WALLS SHALL BE (1) LAYER OF 'TYVEK'.



A LONGITUDINAL SECTION
3/16" = 1'-0"



B SECTION THROUGH GARAGE
3/16" = 1'-0"

JOEL WESTERVELT AIA ARCHITECT
55 ARNOLD STREET CAMP VERDE, ARIZONA 86322
TEL: 928.257.1111 FAX: 928.257.1112
WWW.JOELWESTERVELTARCHITECT.COM



DuVernay RV Garage / Patio cover
1385 E. Partridge Court Cottonwood, Arizona

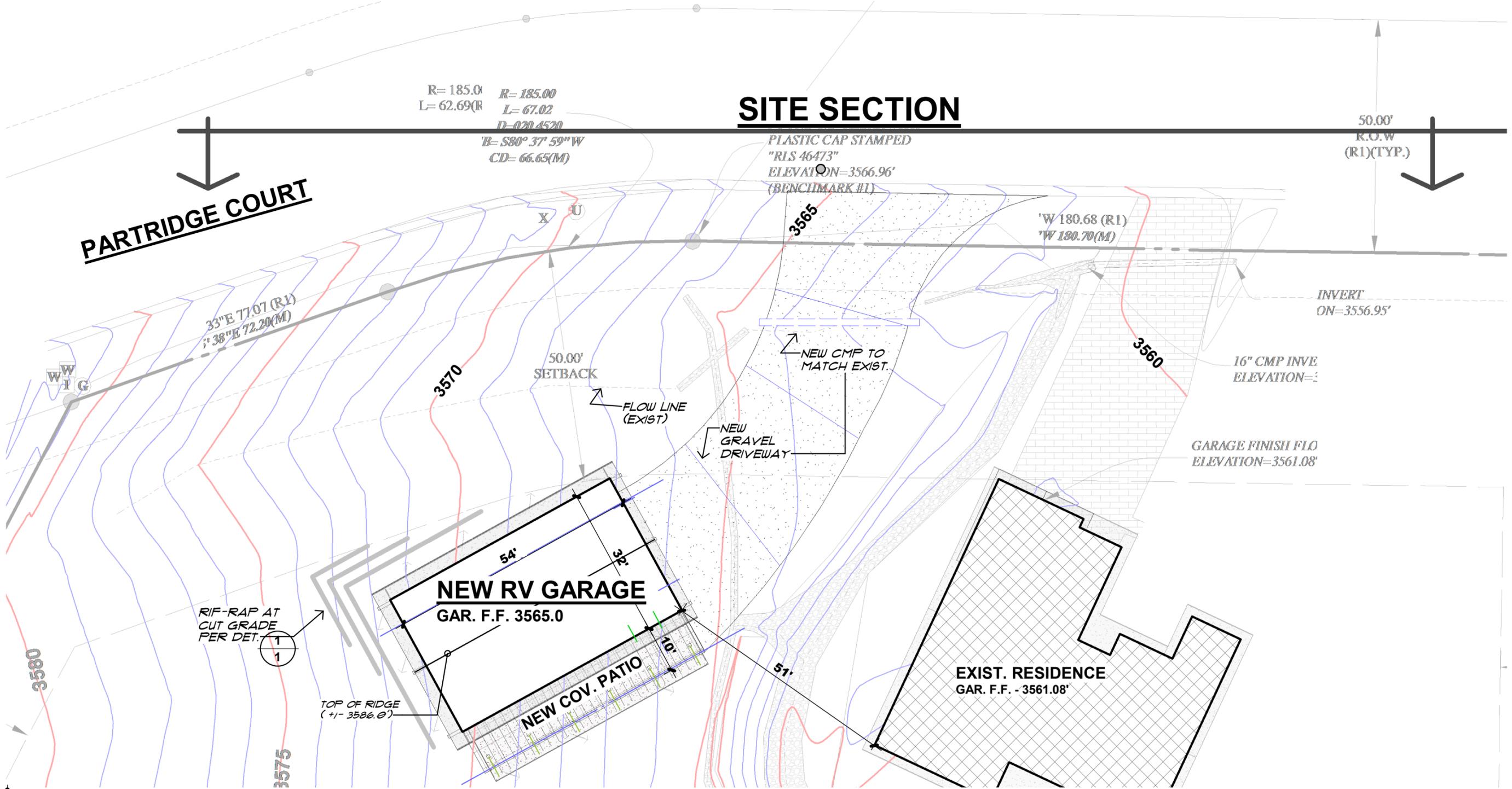
Date 02/07/2020
Scale
Drawn
Job
Sheet

SITE SECTION

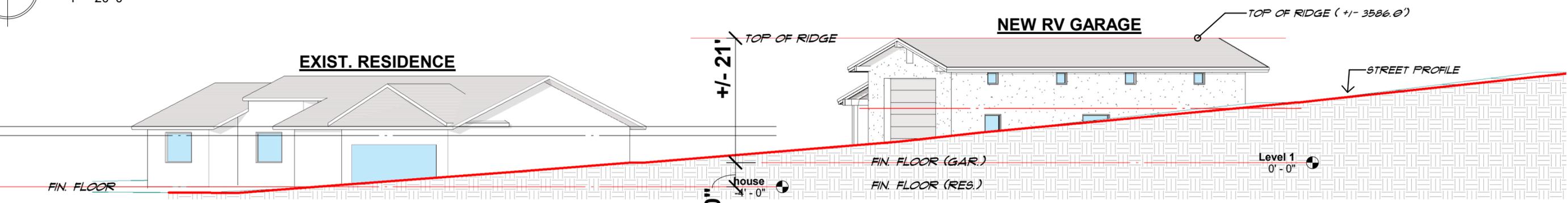
$R=185.0'$ $R=185.00'$
 $L=62.69'$ $L=67.02'$
 $D=020.4520'$
 $B=S80^{\circ}37'59''W$
 $CD=66.65'(M)$

50.00'
R.O.W (R1)(TYP.)

PARTRIDGE COURT

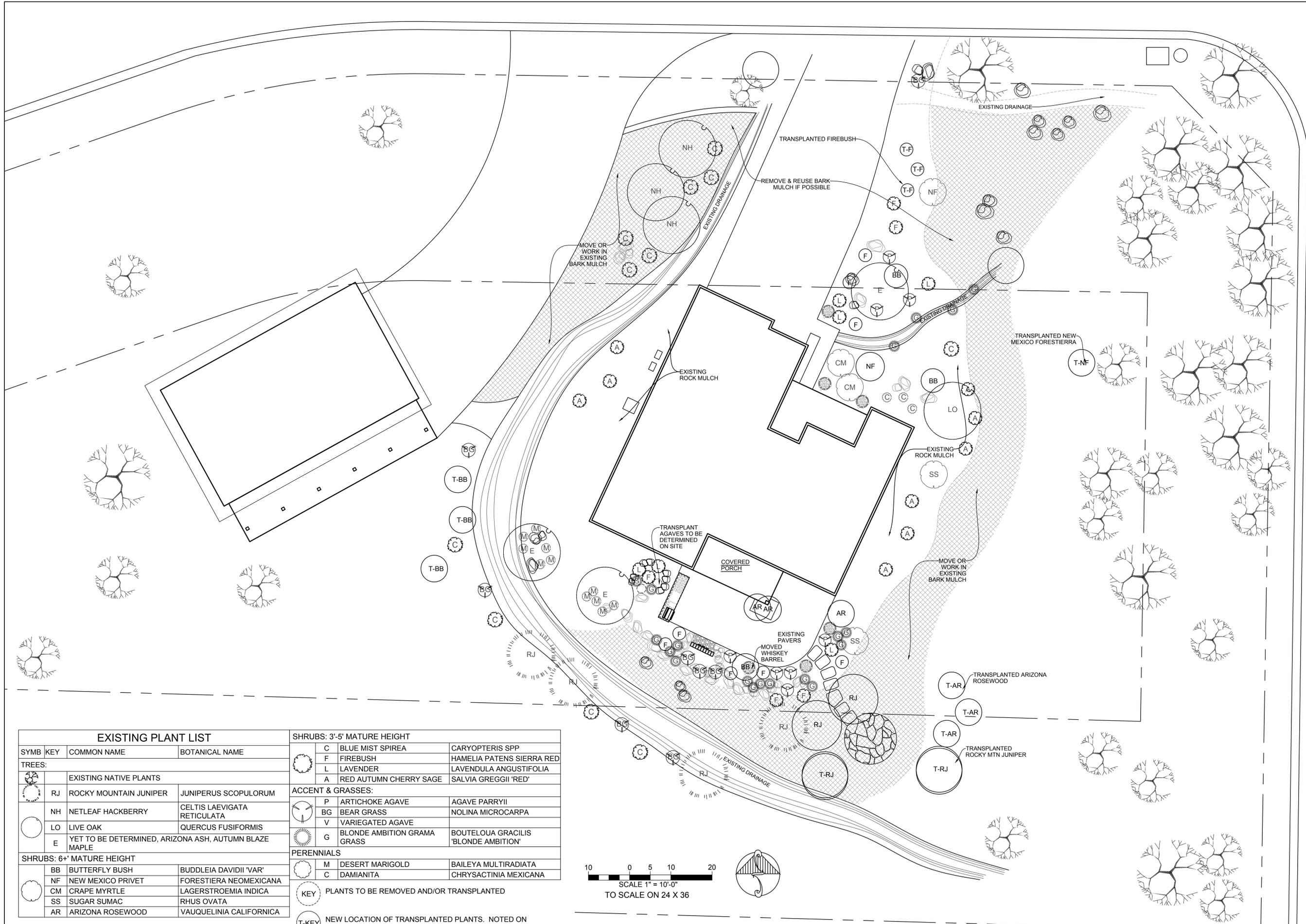


SITE PLAN
1" = 20'-0"



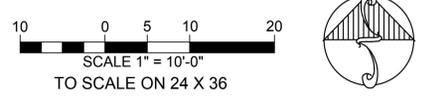
SITE SECTION
1/16" = 1'-0"

HEIGHT SCHEMATIC



EXISTING PLANT LIST			
SYMB	KEY	COMMON NAME	BOTANICAL NAME
TREES:			
		EXISTING NATIVE PLANTS	
	RJ	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM
	NH	NETLEAF HACKBERRY	CELTIS LAEVIGATA RETICULATA
	LO	LIVE OAK	QUERCUS FUSIFORMIS
	E	YET TO BE DETERMINED, ARIZONA ASH, AUTUMN BLAZE MAPLE	
SHRUBS: 6+ MATURE HEIGHT			
	BB	BUTTERFLY BUSH	BUDDLEIA DAVIDII 'VAR'
	NF	NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA
	CM	CRAPE MYRTLE	LAGERSTROEMIA INDICA
	SS	SUGAR SUMAC	RHUS OVATA
	AR	ARIZONA ROSEWOOD	VAUQUELINIA CALIFORNICA

SHRUBS: 3'-5' MATURE HEIGHT		
	C	BLUE MIST SPIREA CARYOPTERIS SPP
	F	FIREBUSH HAMELIA PATENS SIERRA RED
	L	LAVENDER LAVENDULA ANGUSTIFOLIA
	A	RED AUTUMN CHERRY SAGE SALVIA GREGGII 'RED'
ACCENT & GRASSES:		
	P	ARTICHOKE AGAVE AGAVE PARRYII
	BG	BEAR GRASS NOLINA MICROCARPA
	V	VARIEGATED AGAVE
	G	BLONDE AMBITION GRAMA GRASS BOUTELLOUA GRACILIS 'BLONDE AMBITION'
PERENNIALS		
	M	DESERT MARIGOLD BAILEYA MULTIRADIATA
	C	DAMIANITA CHRYSACTINIA MEXICANA
	KEY PLANTS TO BE REMOVED AND/OR TRANSPLANTED	
	T-KEY NEW LOCATION OF TRANSPLANTED PLANTS. NOTED ON MAIN PLAN.	





FIRE & MEDICAL DEPARTMENT

TO: Scott Ellis, Community Development Manager
FROM: Rick Contreras, Fire Marshal
DATE: February 21st 2020
SUBJECT: Plan Review 1385 E. Partridge Court

PLANS ARE APPROVED WITH THE FOLLOWING CONDITIONS

All plans and designs shall fully comply with the 2018 International Fire code and the 2018 International Building code and per the Cottonwood Fire Departments Conditions. The Fire Sprinkler contractor shall be licensed to install Fire Sprinklers per NFPA

1. Fire sprinklers shall be installed throughout the building per NFPA 13D and all local regulations. The system shall be designed to meet the Hazard Class. No secondary shut offs to the Fire Sprinkler system shall be permitted.
2. All supply meters shall be installed with a 1” full flow diameter meter. Supply lines shall be installed as required on the set of the Fire Sprinkler Plans, no lines shall be smaller than 1.5 inches unless approved by the Fire Protection Engineer and the Cottonwood Fire Marshal.
3. The Fire Marshal or his representative shall inspect any/all fire protection system{s} components prior to concealment. Call 24 hours in advance to schedule all fire inspections @ {928} 634-2741. . The following inspections are required:
 - Aboveground Rough-in & >175# test
 - Freeze Protection/Insulation.
 - Final system acceptance
4. If there are any questions please feel free to contact the Cottonwood Fire Department.
5. **No Certificate of Occupancy will be signed or issued by the Fire Marshal until all Fire Department conditions and requirements are fully met.**

*Community risk reduction through:
Experience – Education – Engineering - Enforcement*

Brenda Campbell

From: Gail Wais <phxwais@gmail.com>
Sent: Wednesday, March 04, 2020 4:40 PM
To: Jim Padgett
Subject: 1385 E Partridge Ct.

Jim,

Thanks for your help with this. I wanted to put in writing our objections to the proposed garage at 1385 E Partridge Ct. We'd have never bought in this covenant controlled neighborhood knowing that the oversized garages would be allowed. We weren't living here when approval was given for the existing oversized garage in Quail Canyon Rd. last year - our house was under construction and we didn't see the sign that must have been posted for the zoning change. With 7 new residents in the past year, we attended our first annual homeowner's meeting yesterday. The proposed new garage in question was a hot topic, and sentiment was against it. On the lot to the Northwest of our house, outside city limits, and not in our HOA, sits an oversized garage that is unpleasant to see. We don't want a neighborhood full of them. As only half the lots in this subdivision are currently sold, we fear it'll drive the prices down on the remaining lots. The terrain in this subdivision is rolling hills with beautiful views, and these views will be blocked. We're asking the city to not allow this oversized garage to be built. We'll be working with the majority land owner (all remaining lots are now on the market) to set architectural guidelines so this won't be an issue in the future. Currently, the guidelines for the HOA state, "All approvals of the Architectural Committee are intended to be in addition to, and not in lieu of, any required municipal or county approvals or permits, and owner is solely responsible to ensure conformity with such codes and building permits." The current Architectural Committee consists of only the the majority landowner. We feel city building codes are in place for a reason, and are asking that no exception should be made.

Thanks!

Gail Wais
602-391-6068

1230 E Sandhill Lane
Cottonwood, AZ 86326

Brenda Campbell

From: Paul Freeman <rrguideflies@gmail.com>
Sent: Thursday, March 05, 2020 3:06 PM
To: Jim Padgett
Subject: Propsoed RV garage at the corner of Partridge Ct. & Quail Canyon Rd

Mr. Padgett

My name is Elizabeth Freeman and I'm a resident in Quail Canyon Subdivision. When I purchased my lot in 2005 and built my home in Mar of 2007 I did so because of the beautiful extended views from ALL directions that Quail Canyon Subdivision had to offer. Yes I knew that eventually other homes would be built but from where I stood I believed that the views every lot would have would always remain. However as it turned out my belief was wrong.

I reside at 2865 S. Quail Canyon Rd. and my neighbor who resides directly across the road had an RV garage built this year and now the view that I once had of Mingus Mountains is gone. In the afternoon I would sit on my front porch soaking up the warmth from the sun enjoying the wonderful view that I once had but now all I see is an RV garage. Last year when you or should I say the City of Cottonwood had the zoning hearing on her RV garage proposal I was against an RV garage being built then and am still against one being built now because they inadvertently obscure the beautiful view that this subdivision has to offered which and is the reason most if not all property owners purchased here to begin with.

Now another RV garage one that is oversized is proposed to be built at the corner of Partridge Ct. & Quail Canyon Rd. I believe that home owners and property owners bought in this area because it's within Cottonwood city limits with city services, and the fantastic views we've got. There are currently no architectural guidelines that limit the size of garages in Quail Canyon. Without those, we can only rely on city regulations to enforce those limits, limits that still could potentially block a view from a neighboring property (current or future), it could set a precedent that oversized RV garages are welcome and as far as I'm concerned welcomed they are not.

I ask that you consider not only my request but the request of my fellow neighbors and not allow this proposal of an oversized RV garage be built at the corner of Partridge Ct. & Quail Canyon Rd. to be approved.

Thank you. Your time and consideration regarding this request is greatly appreciated.

Sincerely;

Elizabeth Freeman

Brenda Campbell

From: Gregg Gould <gregg2887@gmail.com>
Sent: Thursday, March 05, 2020 2:36 PM
To: Jim Padgett
Subject: Proposed zoning change for RV garage quail canyon

Hello Jim, My name is gregg gould. 1315 Sandhill Lane 928 300 6531. I am against this change as written. Hopefully some compromise can be reached that will satisfy all. Maybe some modifications? The bldg is tall and made taller by placing it on the hill. Can the owners cut into the hill to start foundation? I want folks to build what they need, but this may be too much. Thank you, for your consideration. Gregg

Brenda Campbell

From: Jody M <jmakx6@gmail.com>
Sent: Wednesday, March 04, 2020 6:55 PM
To: Jim Padgett
Subject: CUP 20-002, 1385 E Partridge Court, New Garage

Mr. Padgett,

Good afternoon, I am writing to let you know that we have no concerns in reference to the addition or placement of the RV garage on the property at 1385 E Partridge Court in Quail Canyon.

Respectfully,

Jody and Joanna Makuch
3035 S Quail Canyon Road
Cottonwood, Az 86326

Brenda Campbell

From: Kimberly Gould <kimgould59@gmail.com>
Sent: Thursday, March 05, 2020 3:13 PM
To: Jim Padgett
Subject: Change in zoning request

Good Afternoon Mr. Padgett,

I am writing to express concern about the proposed zoning change In Quail Springs Ranch at the corner of Partridge Ct. and Quail Canyon Road in Cottonwood. Specifically, the homeowner is seeking to build an oversize RV garage. This change will most definitely have a negative impact on the neighboring properties. Existing and future homeowners will lose scenic views and a precedent will be set that will ultimately diminish property values as other zoning exemptions are approved. Many of us have just finished building in this community, and I think we are rightfully concerned about exemptions to existing building codes and the consequences this can have in a community where many more homes will be built. Thank you for taking time to read this communication.

Respectfully submitted,

Kim Gould
kimgould59@gmail.com
1315 E. Sandhill LN, Cottonwood AZ

Brenda Campbell

From: GARY KOCEMBA <gkocemba@msn.com>
Sent: Thursday, March 05, 2020 9:18 PM
To: Jim Padgett
Cc: Gail Wais
Subject: Comments on the proposed Duvernay RV Garage in Quail Canyon

Mr. Padgett,

My name is Gary Kocemba and I live at 1290 E Sandhill Ln, Cottonwood, AZ 86326. It has come to my attention that the Duvernay Family is asking for a Zoning hearing to change the current city regulations for building a RV garage in our community. The current city regulations states the limit of such an out building is 2000 square feet and 16 feet to the highest point of the roof.

Those are good regulations and would assure that the beautiful views we have in Quail Canyon would not be obstructed by some commercial building. The proposed Duvernay RV garage would definitely impact my current view of the beautiful Sedona Red Rock Mountains. That view is why I purchased this house and picked this lot. I was assured that any out building to be built would not be any taller than the roof of the home associated with the building. This is a residential neighborhood and zoned for residential. Currently from my back patio I just see a portion of the roof on the Duvernay home. The proposed RV garage would be taller than the roof of the Duvernay home and would block my view.

I am rather frustrated with what's going on here in Quail Canyon. Why do these people buy a home in a development zoned for residential and then want to build commercial RV garages? This is a residential development and not an RV Park. These people can leave their RV's at the RV park or RV storage. In the Duvernay case they are building an RV garage to not only store their RV but also store another relatives RV. Like I said, this is not an RV park or RV Storage center. This trend needs to stop! I paid a lot of money for this house and I do not expect to look at huge commercial sized RV garages scattered along the beautiful landscape of Quail Canyon.

Please consider my inputs for the Zoning meeting scheduled for this topic.

Thank you,
Gary Kocemba
612-295-6535

Brenda Campbell

From: Teri <tbrew404@gmail.com>
Sent: Thursday, March 05, 2020 5:46 AM
To: Jim Padgett
Cc: Teri
Subject: Duvernay garage Quail Canyon

Hello Jim, I'm contacting you regarding the oversized garage being planned in Quail Canyon. We have only lived in this area for a year now and were attracted to the large lots and beautiful views which we feel will be impacted by this huge garage. There is already an oversized garage here now that the owners daughter has a trailer stored in which she is living in. We understand that the owners for this proposed garage are building this to store their motorhome in but also to store a relatives motorhome which will also include an awning and a patio, in other words this will be another living area. If this is approved it will be basically 2 homes on one piece of property. I feel that if this does get approved it will set the precedent for others to want to do the same and the whole subdivision will be impacted with huge garages. There are plenty of places to store RV's here in Cottonwood. We really want to keep our beautiful subdivision open and be able to enjoy our views! Thank you Teri 1255 E. Sandhill Ln

New Outlook Express and Windows Live Mail replacement - get it here:
<https://www.oeclassic.com/>

Brenda Campbell

From: shortcutux <shortcutux@gmail.com>
Sent: Thursday, March 05, 2020 9:46 AM
To: Jim Padgett
Subject: Zoning Hearing Re: Property in Quail Canyon Subdivision

Mr. Padgett,

I am corresponding regarding the proposed oversized RV garage in our subdivision at the corner of Partridge Court and Quail Canyon Road.

I am of the same thought that most are in this subdivision that this should not be done. As your documents show, this structure would be over limit in height (way above the residence) and also nearly as large as the residence not counting the extra patio shown attached to the garage.

The lot in question is also on a slope and they are proposing to build on the up hill side of this house. This structure would be a dominant sight for many lots that are occupied and available for sale. It would also affect views from several lots. Certainly I would expect some property owners might add unattached garages, but would do so in accordance to existing rules. If we allow this one, I have concern, and expect that this may encourage existing and future parties to chose to build this type of structure.

We chose to purchase and build here in part because it is within City limits and subject to zoning rules. Consequently as with many of the other residents I feel that this would negatively affect the intended atmosphere, views and values of other properties, so it should not exceed zoning limits.

I respectfully request that the zoning personnel not allow this.

Thank you for your time and consideration.

Tony Viotti
1255 E. Sandhill Lane

Brenda Campbell

From: GARY ZECCA <grzecca@icloud.com>
Sent: Thursday, March 05, 2020 2:31 PM
To: Jim Padgett
Cc: MZ Cell
Subject: Oversized Garage

Jim I wanted to take a moment to voice my displeasure about the over-sized garage being built in the Quail Canyon subdivision. I am an owner at 2805 So Quail Canyon (2nd home on left) as you drive in. While I will not see the structure from my residence, I feel that this diminishes the overall beauty of the subdivision, not to mention blocking views of my fellow homeowners.

What's most disconcerting is that the home owners wishing to build are not in town and won't be until "after" our time period to rebut this request has passed. I find this highly questionable. If our HOA had not met prior to, we would have never been told? Even more suspicious I understand since we are part of the City our neighbors have the right to build to a height of 16', regardless of an amendment to CC&R's. I have also come to understand, that a second garage is being considered on this same property, so this is even more of a reason to block anything to be built higher or longer than what the city allows.

Hope this makes sense, but if not, please don't hesitate to call me at 817-437-7658 or my email.

Thank you for your time.

Regards,
Gary and Margaret Zecca
2805 S Quail Canyon Road

Sent from my iPhone



PLANNING
ZONING
HEARING

















STAFF MEMO

TO: Planning and Zoning Commission

FROM: Gary Davis, Community Development Planner

HEARING DATE: March 16, 2020

PROJECT NUMBER: CUP 20-003 KFC Signage

The applicant is requesting approval of a Conditional Use Permit to exceed the square footage of signage allowed at the Kentucky Fried Chicken restaurant located at 970 S. Main Street in a C-2 (Light Commercial) zoned property.

PROJECT DATA AND FACTS:

Applicant	Bob Alred
Property Owner	Alred Investments, LLC
Location of Property	970 S. Main St., APN 406-04-045K
Present Zoning and Land Use	C-2 (Heavy Commercial) - Restaurant
Description of Applicant's Request	Request for a Conditional Use Permit to exceed the square footage of signage allowed.

LAND USE:

Description and Character of Surrounding Area
The site is on the west side of South Main Street between Camino Real and State Route 260. The property is surrounded by developed C-2 commercial property to the south, east, and west, and by C-1 (Light Commercial) zoning to the north.

Adjacent Land Uses and Zoning	
North:	C-1 (Light Commercial) Retail, Restaurants
South:	C-2 (Heavy Commercial) Parking for Home Depot
East:	C-2 (Heavy Commercial) Retail, Restaurants
West:	C-2 (Heavy Commercial) Gas Station

PROJECT PROPOSAL:

Background: The applicant is requesting a Conditional Use Permit to exceed the square footage of signage allowed on a restaurant property in the C-2 zone.

The total area for all signs on the property is currently 299 square feet, which includes internally-illuminated pole- and wall-mounted signs and various non-internally-illuminated wall signs. The Planning and Zoning Commission approved the signs as part of a design review application on August 20, 2012 (DR 12-017).

According to the applicant’s letter of intent, he intends to replace most of the signage on the property as part of a new remodeling project. After the proposed remodeling, the total area for all signs would be reduced to 264 square feet (179 square feet of new signage plus 85 square feet of existing signage that would remain).

Section 405 Signs, of the City’s Zoning Ordinance, allows a maximum total area of 80 square feet of signage in commercial and industrial zones when the building frontage is 55 feet or less. The front of the KFC building facing Main Street is approximately 40 linear feet. Section 405 also provides for an applicant to exceed the allowable signage by obtaining a Conditional Use Permit.

Parking: N/A

Lighting: Any and all sign lighting will have to meet Section 408 of the City of Cottonwood Zoning Ordinance Lighting Code.

Access: N/A

Landscape Plans: N/A

Utilities: N/A

REQUIRED FINDINGS:

General Findings:

The requested signage is a reduction of the existing overall signage area, however the applicant is requesting more square footage than the total allowed by the Zoning Ordinance.

Compatibility with Surrounding Uses:

The additional signage would be compatible with surrounding light and heavy commercial uses, each of which display commercial signage.

Traffic and Circulation:

The request will not change the existing traffic and circulation. There are not any traffic or circulation issues associated with this project or property.

Nuisance Activities:

No nuisance activities have been identified at this location for the proposed use.

Buffering and Screening:

The use requested by this permit does not create the need for additional screening.

Staff Review:

Staff has reviewed this project and finds the requested signage is permitted with a Conditional Use Permit. If approved, staff recommends the stipulations as listed below.

If the Commission desires to approve this item, the suggested motion is:

I move to approve CUP 20-003 to allow Alred Investments, LLC to exceed the allowable signage requirements, subject to the following stipulations:

1. That the project is developed in conformance with the proposed sign area shown in the sign permit application submitted on October 24, 2019.
2. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued within twelve (12) months from the date of this approval.
3. The City of Cottonwood reserves the right to revoke the Conditional Use Permit (CUP) if the use creates an irremediable public safety problems as determined by the City.
4. Any other stipulations the Planning & Zoning Commission deems necessary.



CONDITIONAL USE APPLICATION

CDD

Development Application

#202

PROPERTY OWNER		APPLICATION NUMBER:
Name: <u>Robert Alred</u>		20-003
Address: <u>970 S. MAIN</u> City: <u>COTTONWOOD</u>		
State: <u>AZ</u> Zip: <u>86326</u> Phone: <u>928-634-8376</u> Cell: <u>928-300-7226</u>		ZONING:
Fax: _____ E-Mail: <u>bobalred@aol.com</u>		APPLICATION DATE:
AGENT/REPRESENTATIVE		2/26/20
<small>IDENTIFY THE PERSON WHO WILL COMMUNICATE WITH CITY STAFF, AND RECEIVE CORRESPONDENCE DURING THE HEARING PROCESS. CITY STAFF WILL NOT ACCEPT RESPONSIBILITY FOR COMMUNICATING WITH OTHER PROJECT PERSONNEL.</small>		FEES:
Name: <u>Robert Alred</u>		\$800
Address: <u>710 YORBA</u> City: <u>COTTONWOOD</u>		RECEIPT #:
State: <u>AZ</u> Zip: <u>86326</u> Phone: _____ Cell: <u>928-300-7226</u>		9648
Fax: _____ E-Mail: _____		DATE: 2/26/20
REQUEST:		TAKEN BY:
<u>KFC REMODEL. REQUEST TO UPDATE SIGNAGE</u>		C Anderson
IDENTIFY ANY NECESSARY CODE EXCEPTIONS: _____		

ASSESSOR'S PARCEL NUMBER(S) 40604045 K **ACRES** .76

SITE ADDRESS (if applicable) 970 S. MAIN ST.

SUBDIVISION: _____ **LOT(S):** _____ **BLOCK:** _____ **UNIT:** _____

Legal description attached (for Metes & Bounds Parcel or for Subdivision Lot Split)

I hereby certify that the information in this application is complete and accurate; and that I am the applicant of the bona fide agent of same as state above.

Signature: Robert Alred Date: 2-15-19

Please Print Name: ROBERT ALRED

February 24, 2020

To Cottonwood City Council

My name is Bob Alred. My wife, Melanie and I own the property and the KFC franchise at 970 S. Main St. in Cottonwood. Parcel number is 40604045K. We have owned it and have lived here in Cottonwood since 1983. We sold the business in 2006 and had to take it back in 2012. We have both been with KFC since the early 70's in Phoenix. We remodeled the restaurant in 2012 before it was reopened. We aren't contractually obligated to the remodel until 2022, but we have decided to do it early to take advantage of KFC's new American Showman Program so all the KFCs will look similar. They want to go back in time a little bit and recreate the original look of KFC with some modern flare. KFC first opened in Cottonwood in 1973. KFC awards its top 1% of restaurants the The Best of the Best award every year. Cottonwood KFC has won the award three times in the past five years, the only Arizona KFC to ever win.

Our request would be to change most of the signage to fit the new modern look. We would be removing three lit signs of about 83 sq. ft. and KFC deco outdoor pictorials of 144 sq. ft. We would add one KFC letter sign, lit, of about 15 sq. ft. The rest of the new signage is not lit up. It would be just painted on the building with down lighting highlighting it at night. It would be about 130 sq. ft. So overall, we are cutting 82 ft. from the current, and going from four lit signs on the building to only two (37 sq.ft.)

We would plan on starting the project in mid April and completing it in two weeks. No future remodels we would have to do until 2032.

A handwritten signature in cursive script, appearing to read "Bob Alred".



City of Cottonwood
 Sign Permit Application
 111 N Main St.
 Cottonwood, AZ 86326
 (928) 634-5505 Fax (928) 639-4254

PERMIT #:

Assessor Parcel Number: 406-04-045K

Business Name: (Print Clearly)
 KFC

Property Address: 970 S. MAIN Unit/Suite#:

Applicant/Contact: (Print Clearly) BOB ALRED Phone: 928-300-7226

Address: 710 YORBA Email Address: balred@aol.com

City: COTTONWOOD State: AZ Zip: 86326

Property Owner: (Print Clearly) BOB ALRED Phone:

Address: (SAME) Email Address:

City: State: Zip:

Sign Contractor: (Print Clearly) ALVEY SIGNS Phone: 928-634-5715

Address: 483 S. MAIN hth Email Address: alveysigns.com

City: COTTONWOOD State: AZ Zip: 86326

Installer: Yes No Fabricator: Yes No License#:

- 1.) What is the total square footage of all signs for this business after installation of the new signs?
- 2.) Will the sign be located in a new or existing shopping center? NA Yes _____ No _____
 If yes, indicate the name of the shopping center _____
- 3.) How many businesses are located in the same building as this business? 1
- 4.) Indicate the linear feet (width) of the building that faces the street: 36
- a.) If the building has two street frontages please indicate: Front Building _____ Second Street Frontage _____
- 5.) Will installation of the sign require an encroachment into the public right-of-way with a vehicle or other equipment?
 _____ Yes No _____
- 6.) Is the sign(s) internally illuminated? _____ Yes _____ No
- 7.) Total valuation of the sign(s): \$ \$2,900.00

Owner/Applicant Bob Alred Date 10-15-19

Step #1-Please list all EXISTING signage for this business on the building of the site on which the new sign will be located. Include signage on existing shopping center marquis.

Sign Text	Wall, Monument or Pole Sign	Sign to be removed Y/N	Total square footage of sign
KFC	Pole Sign	N	70
Bucket with Face	Wall	Y	30
Rectangle sign with Face	Wall	Y	20
Cabinet Striped (illuminated sign)	Wall	Y	20
Artwork on building(logos etc.)	Wall	Y	144
White KFC Illumniated Sign	Wall	N-to be relocated	15

Step #2- Please list any NEW wall mounted signage proposed as part of this permit application.

Sign Text	Size of Sign (L x W x H)	Total Square footage of sign	Lighted sign Y/N	Total Amps
Red KFC Letters	2.6' x 9'	23.4'	Y	1.95
World Famous Chicken	1.3' x 17'	22.1'	N	N/A
Made the hard way made by hand since 1940	4.10' x 14.5'	59.45'	N	N/A
Col. Harlan Sanders Original Recipe Since 1940	12' x 4.11'	49.32'	N	N/A
Made the hard way made by hand since 1940	5' x 5'	25'	N	N/A

Step #3- Please list any NEW pole mounted or monument signage proposed as part of this permit application.

Sign Text	Size of Sign (L x W x H)	Total Square footage of sign	Lighted sign Y/N	Total Amps
N/A				

Step #4- Please describe any and all electrical that will be installed with the sign (only if applicable), and a description of how you are affixing the sign to the permanent structure:

See attached detail sheets.

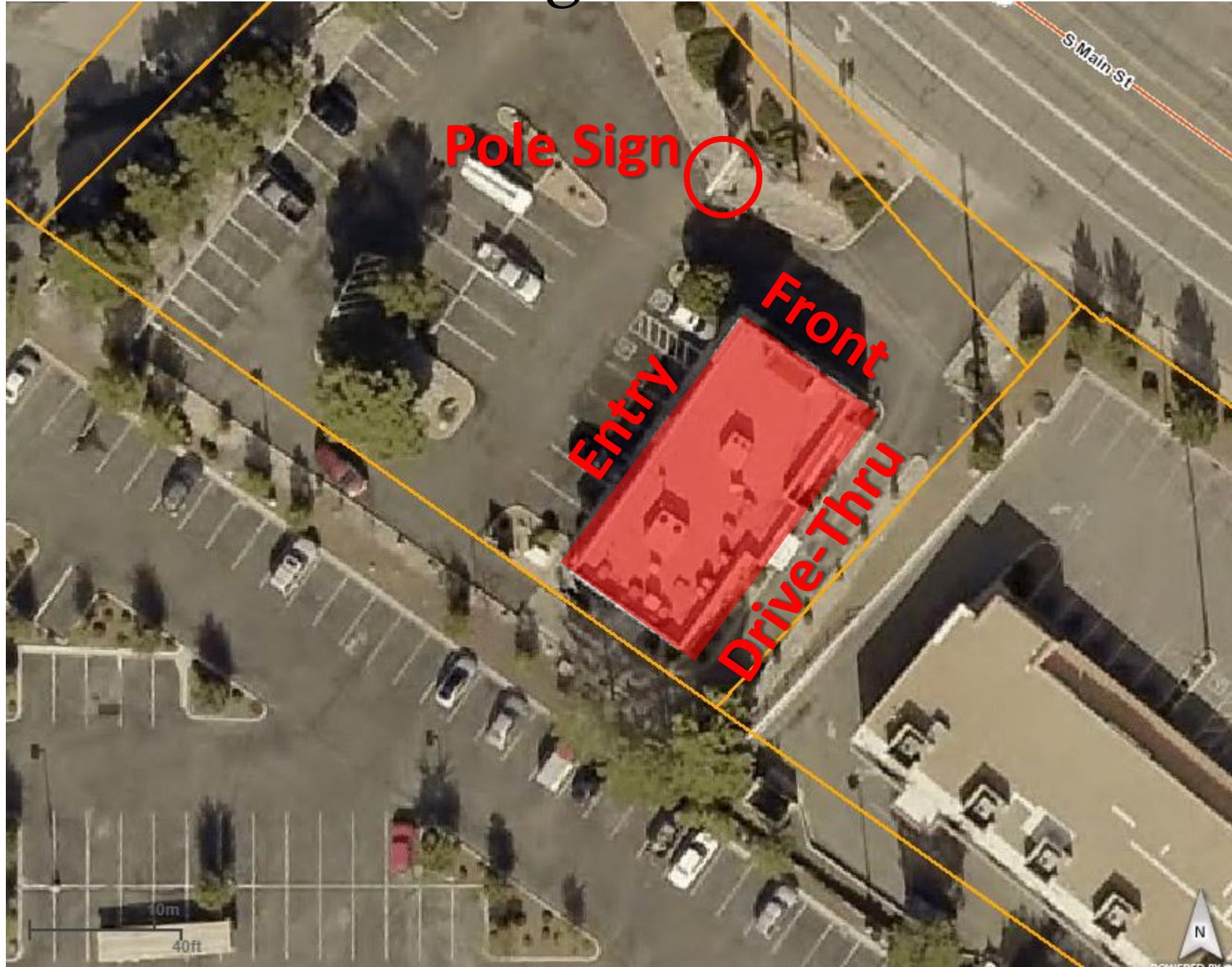
Step #5- Add total of all NEW signage

Total square footage of new wall mounted signage	179.27
Total square footage of new pole or monument signage	0
Total square footage of new signage	179.27
Total square footage of new and existing signage	264.27

Staff Use Only

Community Planner: _____	Date _____
Comments: _____	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Zoning _____	Max signage allowed _____
Engineering: _____	Date _____
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Building Division: _____	Date _____
Comments: _____	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied

Building Elevations



Current Pole Sign and Front (East) Elevation



Current Drive-Thru (South) Elevation



Current Entry (North) Elevation



Looking North on Main St.



Looking East Across Main St.



Looking South on Main St.

